



2.10

NORTH WEST VIEW - PRIVACY SCREENING

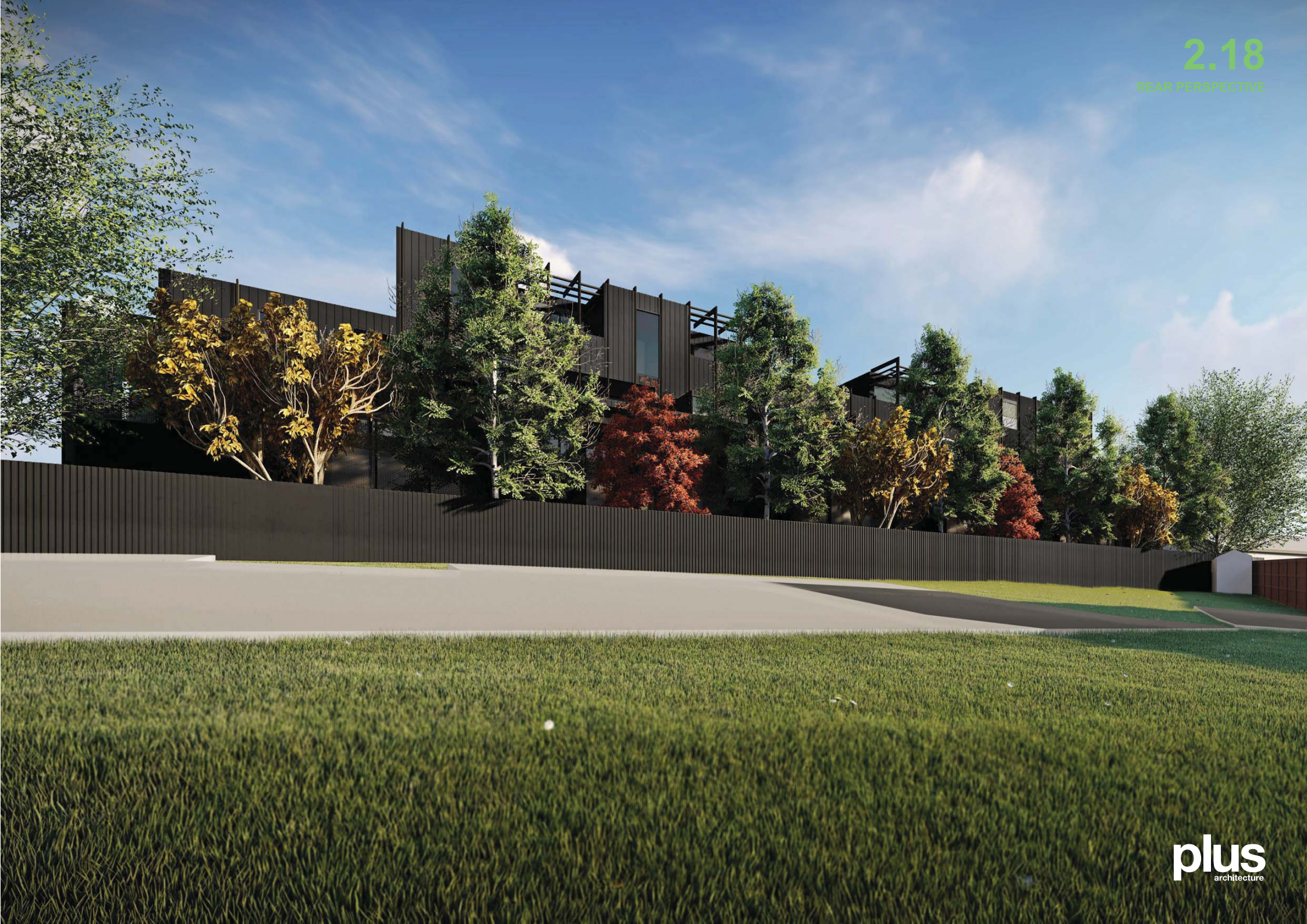
4



2.11

INTERNAL COURTYARD











92-96 Williamsons Road, Doncaster
DEVELOPMENT SCHEDULE

Job Number
 File
 Date

12208
 K:\12200\12208\Administration\12 Schedules\12.6.01 Development Density
 29/05/2018



| | RESIDENTIAL | | | | | TOTAL APTS/FLOOR | SERVICES/CIRC Area | CARPARK | | BALCONIES Area | AREA PER LEVEL (EXCLUDING BALCONIES) sellable sqm GFA | | FLOOR EFFICIENCY (EX CARS & BALCONIES) % | | | | |
|--|-------------------|----------------------|----------------------|--------------------|----------|---------------------|-----------------------|------------|-------------|-------------------|---|--------------|--|--|--|--|--|
| | MIX | | | | | | | NO | Area | | sellable sqm | GFA | | | | | |
| | 45-60sqm 1 Bed | 60-68sqm 2 Bed 1B | 68-74sqm 2 Bed 2B | 90-110sqm 3 Bed | | | | | | | | | | | | | |
| Basement 02 | | | | | | 0 | 52 | 62 | 2222 | | 0 | 2274 | 0.00% | | | | |
| Lower Ground | 429 | 1 | 5 | | | 6 | 294 | 44 | 1913 | 118 | 429 | 2636 | 59.34% | | | | |
| Ground Floor | 1461 | 3 | 4 | 14 | | 21 | 382 | | 414 | 320 | 1461 | 2257 | 79.27% | | | | |
| Level 01 | 1584 | 4 | 7 | 13 | | 24 | 223 | | | 298 | 1584 | 1807 | 87.66% | | | | |
| Level 02 | 1451 | 6 | 4 | 12 | | 22 | 212 | | | 206 | 1451 | 1663 | 87.25% | | | | |
| Level 03 | 615 | | | 1 | 5 | 6 | 80 | | | 118 | 615 | 695 | 88.49% | | | | |
| Totals | 5540 | 13 | 16 | 45 | 5 | | 1243 | 106 | 4549 | 1060 | 5540 | 11332 | | | | | |
| TOTAL APARTMENTS = 79 | | | | | | | sqm/car = 42.9 | | | | | | | | | | |
| <table border="1" style="width: 100%;"> <tr> <td>16%</td> <td>20%</td> <td>57%</td> <td>6%</td> </tr> </table> | | | | | 16% | 20% | 57% | 6% | | | | | | | | | |
| 16% | 20% | 57% | 6% | | | | | | | | | | | | | | |

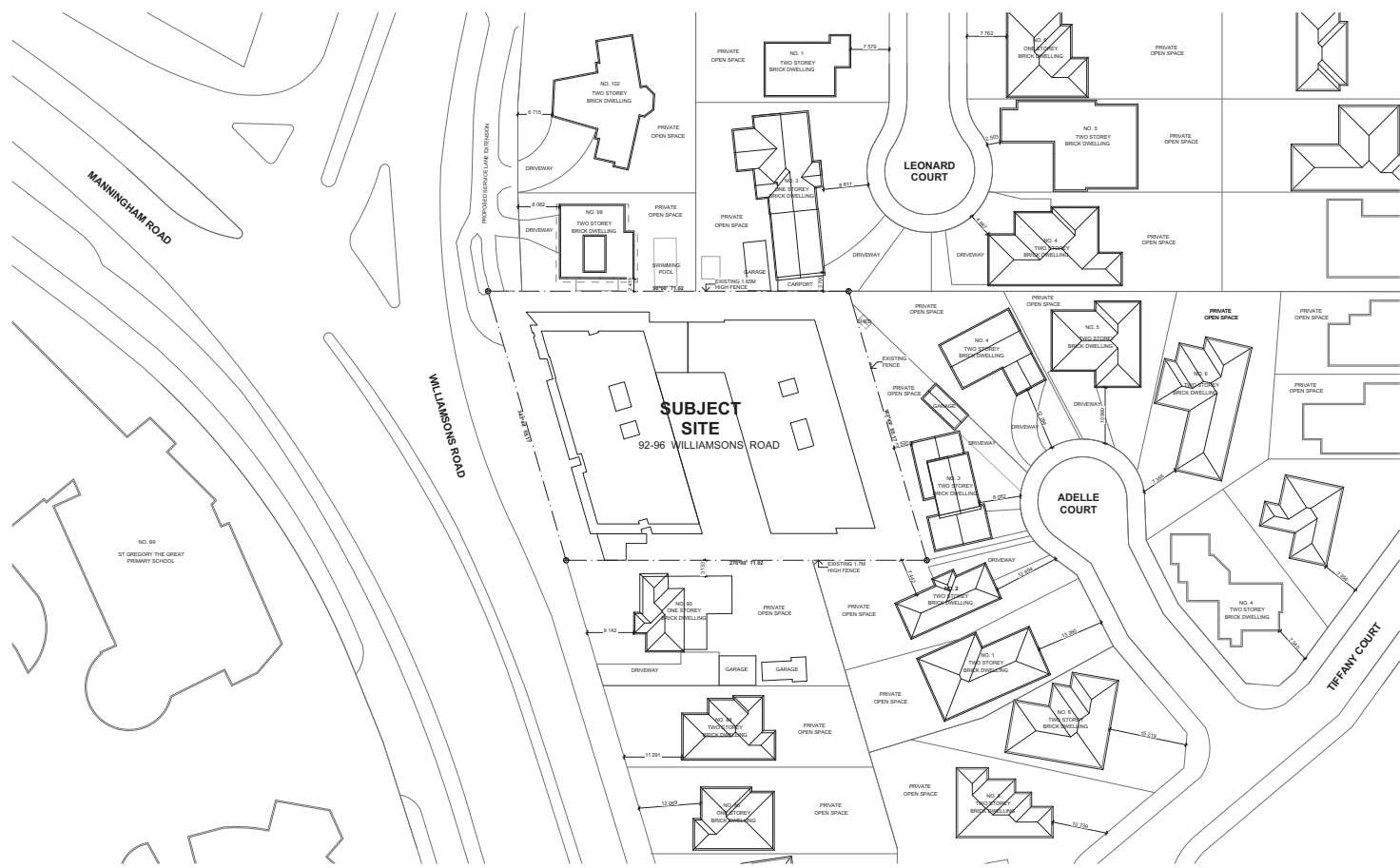
| | | |
|-------------------------------|---|---------------------------|
| NOTE: | | |
| SITE AREA | : | 3763m ² |
| SITE COVERAGE | : | 60% (2290m ²) |
| SITE PERMEABILITY | : | 25% (932m ²) |
| LEVEL 03 PERCENTAGE OF GROUND | : | 33% |
| LEVEL 02 PERCENTAGE OF GROUND | : | 75% |

3.02

APARTMENT SCHEDULE

| Apt No | Bedrooms | Bathrooms | Area (m ²) | SPOS (m ²) | Storage | Car Park |
|--------|----------|-----------|------------------------|------------------------|---------|----------|
| L601 | 2 | 2 | 73 | 17 | 1 | 1 |
| L602 | 2 | 2 | 68 | 20 | 1 | 1 |
| L603 | 2 | 2 | 74 | 20 | 1 | 1 |
| L604 | 2 | 2 | 73 | 20 | 1 | 1 |
| L605 | 2 | 2 | 73 | 20 | 1 | 1 |
| L606 | 2 | 1 | 69 | 20 | 1 | 1 |
| | | | | | | |
| G01 | 2 | 2 | 85 | 28 | 1 | 1 |
| G02 | 2 | 2 | 77 | 24 | 1 | 1 |
| G03 | 2 | 2 | 75 | 10 | 1 | 1 |
| G04 | 2 | 1 | 89 | 19 | 1 | 1 |
| G05 | 2 | 2 | 70 | 18 | 1 | 1 |
| G06 | 2 | 2 | 70 | 18 | 1 | 1 |
| G07 | 1 | 1 | 56 | 13 | 1 | 1 |
| G08 | 2 | 2 | 70 | 21 | 1 | 1 |
| G09 | 2 | 2 | 89 | 21 | 1 | 1 |
| G10 | 2 | 1 | 66 | 9 | 1 | 1 |
| G11 | 2 | 2 | 77 | 11 | 1 | 1 |
| G12 | 2 | 2 | 66 | 9 | 1 | 1 |
| G13 | 1 | 1 | 45 | 12 | 1 | 1 |
| G14 | 2 | 2 | 72 | 9 | 1 | 1 |
| G15 | 2 | 2 | 71 | 9 | 1 | 1 |
| G16 | 2 | 2 | 71 | 9 | 1 | 1 |
| G17 | 2 | 1 | 66 | 8 | 1 | 1 |
| G18 | 2 | 1 | 68 | 14 | 1 | 1 |
| G19 | 2 | 2 | 79 | 30 | 1 | 1 |
| G20 | 2 | 2 | 79 | 18 | 1 | 1 |
| G21 | 1 | 1 | 59 | 13 | 1 | 1 |
| G22 | deleted | | | | | |
| G23 | deleted | | | | | |
| | | | | | | |
| 101 | 2 | 1 | 60 | 8 | 1 | 1 |
| 102 | 2 | 1 | 62 | 8 | 1 | 1 |
| 103 | 1 | 1 | 53 | 8 | 1 | 1 |
| 104 | 1 | 1 | 51 | 6 | 1 | 1 |
| 105 | 2 | 2 | 82 | 12 | 1 | 1 |
| 106 | 2 | 2 | 74 | 8 | 1 | 1 |
| 107 | 2 | 2 | 77 | 9 | 1 | 1 |
| 108 | 2 | 2 | 76 | 12 | 1 | 1 |
| 109 | 2 | 2 | 76 | 8 | 1 | 1 |
| 110 | 2 | 1 | 61 | 8 | 1 | 1 |
| 111 | 2 | 2 | 70 | 10 | 1 | 1 |
| 112 | 2 | 2 | 70 | 10 | 1 | 1 |
| 113 | 2 | 1 | 61 | 25 | 1 | 1 |
| 114 | 2 | 2 | 72 | 23 | 1 | 1 |
| 115 | 1 | 1 | 47 | 8 | 1 | 1 |

| Apt No | Bedrooms | Bathrooms | Area (m ²) | SPOS (m ²) | Storage | Car Park |
|--------|----------|-----------|------------------------|------------------------|---------|----------|
| 116 | 2 | 1 | 65 | 8 | 1 | 1 |
| 117 | 2 | 2 | 67 | 10 | 1 | 1 |
| 118 | 2 | 2 | 69 | 10 | 1 | 1 |
| 119 | 2 | 2 | 69 | 10 | 1 | 1 |
| 120 | 2 | 1 | 60 | 8 | 1 | 1 |
| 121 | 1 | 1 | 56 | 24 | 1 | 1 |
| 122 | 2 | 2 | 76 | 27 | 1 | 1 |
| 123 | 2 | 2 | 70 | 25 | 1 | 1 |
| 124 | 2 | 1 | 61 | 36 | 1 | 1 |
| | | | | | | |
| 201 | 2 | 1 | 60 | 8 | 1 | 1 |
| 202 | 2 | 1 | 62 | 6 | 1 | 1 |
| 203 | 1 | 1 | 53 | 8 | 1 | 1 |
| 204 | 1 | 1 | 50 | 7 | 1 | 1 |
| 205 | 2 | 2 | 83 | 11 | 1 | 1 |
| 206 | 2 | 2 | 73 | 8 | 1 | 1 |
| 207 | 2 | 2 | 77 | 9 | 1 | 1 |
| 208 | 2 | 2 | 77 | 12 | 1 | 1 |
| 209 | 2 | 2 | 76 | 8 | 1 | 1 |
| 210 | 2 | 1 | 61 | 8 | 1 | 1 |
| 211 | 2 | 2 | 70 | 10 | 1 | 1 |
| 212 | 2 | 2 | 70 | 10 | 1 | 1 |
| 213 | 2 | 2 | 77 | 13 | 1 | 1 |
| 214 | 2 | 2 | 77 | 10 | 1 | 1 |
| 215 | 2 | 2 | 49 | 10 | 1 | 1 |
| 216 | 2 | 1 | 65 | 8 | 1 | 1 |
| 217 | 2 | 2 | 67 | 10 | 1 | 1 |
| 218 | 2 | 2 | 69 | 10 | 1 | 1 |
| 219 | 1 | 1 | 49 | 11 | 1 | 1 |
| 220 | 1 | 1 | 52 | 9 | 1 | 1 |
| 221 | 1 | 1 | 53 | 8 | 1 | 1 |
| 222 | 2 | 2 | 80 | 12 | 1 | 1 |
| 223 | deleted | | | | | |
| | | | | | | |
| 301 | 3 | 2 | 102 | 12 | 1 | 2 |
| 302 | 3 | 2 | 98 | 25 | 1 | 2 |
| 303 | 2 | 2 | 84 | 20 | 1 | 1 |
| 304 | 3 | 2 | 121 | 28 | 1 | 2 |
| 305 | 3 | 2 | 106 | 18 | 1 | 2 |
| 306 | 3 | 2 | 104 | 14 | 1 | 2 |
| 307 | deleted | | | | | |
| 308 | deleted | | | | | |
| 309 | deleted | | | | | |



NOTE:
ALL SETBACKS NOT DENOTED ON FEATURE AND LEVELS SURVEY PROVIDED BY HELLIER MCFARLAND DATED 9.07.2016 ARE TAKEN FROM AERIAL PHOTOGRAPHY WHICH CANNOT BE VERIFIED FOR ACCURACY.

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AM | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | NO. | CONTACT |
|-------------------|--------------------------|--------------------------------------|
| STRUCTURE | <input type="checkbox"/> | WEBBER DESIGN PTY LTD T 03 9614 7155 |
| SERVICES & ESD | <input type="checkbox"/> | CUNDALL T 03 9658 3799 |
| BUILDING SURVEYOR | <input type="checkbox"/> | DU CHATEAU CHAN T 03 9681 1688 |
| TRAFFIC | <input type="checkbox"/> | RATO T 03 9423 3111 |
| WASTE | <input type="checkbox"/> | LEIGH DESIGN PTY LTD T 03 8161 5299 |

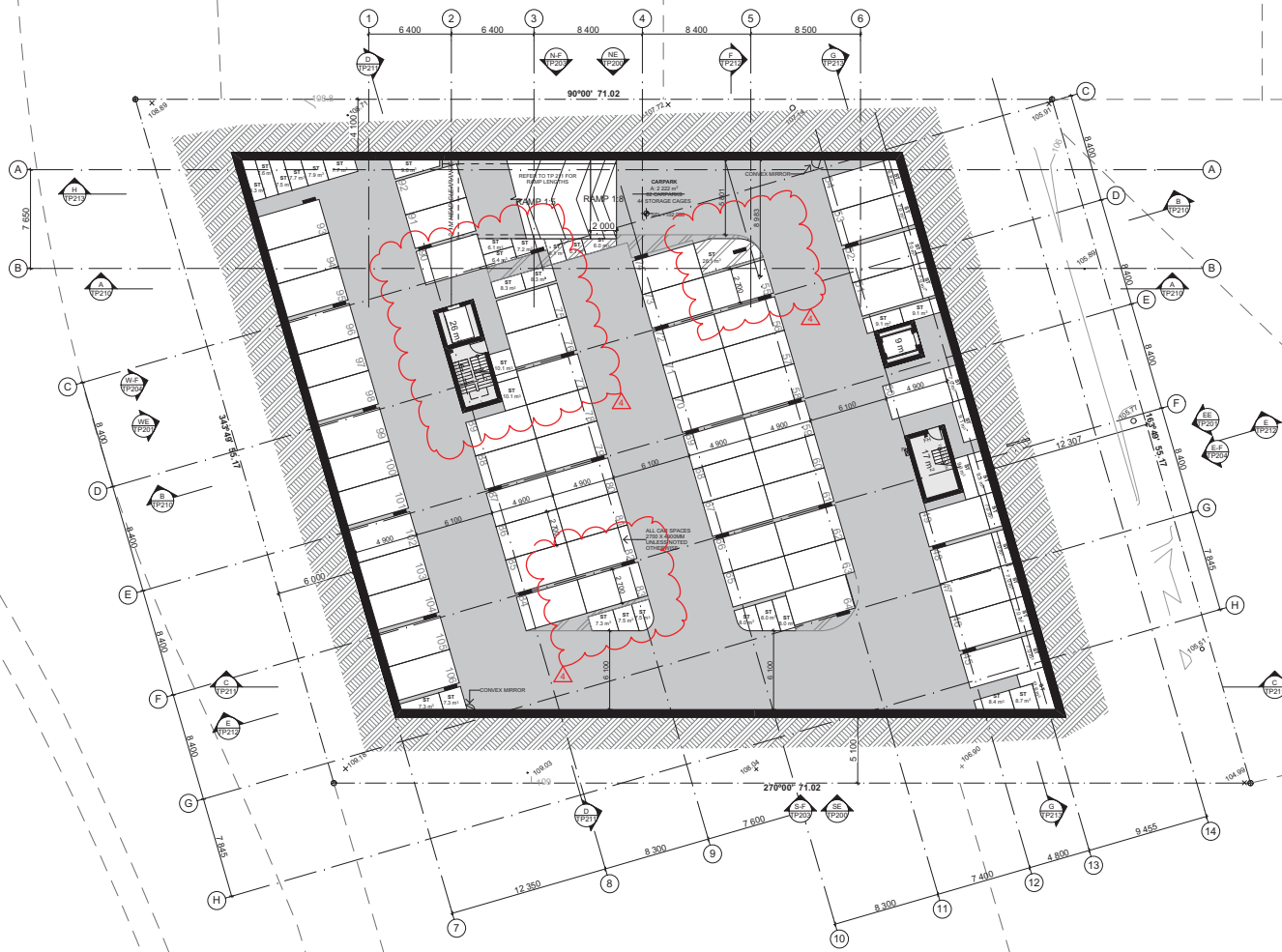


Australian Wildlife Rescue Pty Ltd
 Suite 1, 201 Alameda Drive,
 Melbourne VIC 3001
 Phone: 03 9888 6566
 Email: info@auwildrescue.com.au
 www.auwildrescue.com.au

plus
 Melbourne Brisbane Sydney New Zealand
 Level 2, 448 St Kilda Road
 Melbourne VIC 3006 Australia
 Plus Architecture Pty Ltd
 ACN 091600335
 Telephone +61 3 9006 3999
 Instagram #plusarchitecture
 arch@plusarchitecture.com.au
 www.plusarchitecture.com.au

| TOWN PLANNING RFI ISSUE | | | |
|---|---|----------------------|--|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE NEIGHBOURHOOD AND SITE DESCRIPTION PLAN | SCALE 1:500 @A1 | |
| DATE 8/06/2016 | DRAWN BD | CHECKED BD | |
| JOB NO. 12208 | DRAWING NO. TP001 | REVISION 4 | |

In accepting and valuing this document the recipient agrees that Plus Architecture Pty Ltd, ACN 091600335, is not liable for any errors or omissions in this document. The recipient agrees to indemnify Plus Architecture Pty Ltd, ACN 091600335, from and against all claims, damages, costs and expenses, including legal costs, arising from the use of this document for any purpose other than that for which it was prepared. The recipient agrees to indemnify Plus Architecture Pty Ltd, ACN 091600335, from and against all claims, damages, costs and expenses, including legal costs, arising from the use of this document for any purpose other than that for which it was prepared. The recipient agrees to indemnify Plus Architecture Pty Ltd, ACN 091600335, from and against all claims, damages, costs and expenses, including legal costs, arising from the use of this document for any purpose other than that for which it was prepared.



| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING RFI ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JA | 3 |
| | REVISED CODE & SERVICES | | | |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AB | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | STRUCTURE | SERVICES & ESD | BUILDING SURVEYOR | TRAFFIC | WASTE |
|---|--------------------------|---------------------------|-----------------------------------|------------------------|--|
| WEBBER DESIGN PTY LTD T 03 9614 7155 | <input type="checkbox"/> | CUNDALL T 03 9655 3793 | DU CHATEAU CHAN T 03 9681 1688 | RATO T 03 9453 3111 | LEIGH DESIGN PTY LTD T 03 8161 5399 |



plus
Melbourne Brisbane Sydney New Zealand
Level 2, 448 St Kilda Road
Melbourne VIC 3006 Australia
Phone: +61 3 9096 3999
Tel: +61 3 9096 3999
arch@plusarchitecture.com.au
www.plusarchitecture.com.au

| | | | | | |
|--------------------------------|--------------------|---|---------------|---------------------------------------|-----------------------------|
| TOWN PLANNING RFI ISSUE | | PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | | DRAWING TITLE BASEMENT PLAN | |
| SCALE 1:200 @A1 | DATE 8/06/2016 | DRAWN AB | CHECKED BD | JOB NO. 12208 | DRAWING NO. TP098 |
| | DATE 17/07/2018 | | | REVISION 4 | |



| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| | REVISED CORE & SERVICES | | | |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AB | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | CHK | NO. |
|-------------------|--------------------------|--------------------------------------|
| STRUCTURE | <input type="checkbox"/> | WEBBER DESIGN PTY LTD T 03 9414 7155 |
| SERVICES & ESD | <input type="checkbox"/> | CUNDALL T 03 9455 3793 |
| BUILDING SURVEYOR | <input type="checkbox"/> | DU CHATEAU CHAN T 03 9681 1688 |
| TRAFFIC | <input type="checkbox"/> | RATO T 03 9423 3111 |
| WASTE | <input type="checkbox"/> | LEIGH DESIGN PTY LTD T 03 8161 5299 |



plus
Architects

Melbourne Brisbane Sydney New Zealand

Level 2, 448 St Kilda Road
Melbourne VIC 3006 Australia
Phone: 03 9486 6846
www.plusarchitects.com.au

Telephone: +61 3 9096 3999
headoffice: plusarchitects
arch@plusarchitects.com.au
www.plusarchitects.com.au

| TOWN PLANNING RFI ISSUE | | | |
|---|--------------------------------------|-------------------------|-----------------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE LOWER GROUND | SCALE 1:200 @A1 | |
| DATE 8/06/2016 | DATE 17/07/2018 | PLLOT DATE | |
| DRAWN AB | CHECKED BD | JOB NO. 12208 | DRAWING NO. TP099 |
| | | REVISION 4 | |



NOTE:
 SITE AREA : 3763m²
 SITE COVERAGE : 60% (2290m²)
 SITE PERMEABILITY : 25% (949m²)

TOWN PLANNING RFI ISSUE

| | | | |
|---|-------------------|---|---------------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | | DRAWING TITLE GROUND FLOOR PLAN | |
| SCALE 1:200 @A1 | DATE 8/06/2016 | DRAWN AB | FLYOUT DATE 17/07/2018 |
| JOB NO. 12208 | CHECKED BD | DRAWING NO. TP100 | REVISION 4 |

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | LD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JA | 3 |
| | PORTLE COOCHER ADDED | | | |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AB | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | BY | CHK | NO. |
|-------------------|--|-----|----------------|
| STRUCTURE | <input type="checkbox"/> WEBBER DESIGN PTY LTD | | T 03 9414 7155 |
| SERVICES & ESD | <input type="checkbox"/> FUNDALL | | T 03 9658 3798 |
| BUILDING SURVEYOR | <input type="checkbox"/> DU CHATEAU CHAN | | T 03 9688 1688 |
| TRAFFIC | <input type="checkbox"/> RATO | | T 03 9420 3111 |
| WASTE | <input type="checkbox"/> LEIGH DESIGN PTY LTD | | T 03 8101 5299 |

WinEx Property
 Australia Wide Estate Pty Ltd
 Suite 1, 1st Floor, 100/100
 Macquarie Street, Sydney NSW 2000
 Phone: 02 9888 8888
 Email: info@winexproperty.com.au
 www.winexproperty.com.au

plus
 Melbourne Brisbane Sydney New Zealand
 Level 2, 448 St Kilda Road
 Melbourne VIC 3006 Australia
 Phone: +61 3 9006 3999
 Fax: +61 3 9006 3999
 Email: arch@plusarchitecture.com.au
 www.plusarchitecture.com.au



| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JA | 3 |
| | REVISED APT LAYOUTS | | | |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AB | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | CHK | NO. |
|-------------------|--------------------------|--------------------------------------|
| STRUCTURE | <input type="checkbox"/> | WEBBER DESIGN PTY LTD T 03 9414 7155 |
| SERVICES & ESD | <input type="checkbox"/> | FUNDALL T 03 9650 3790 |
| BUILDING SURVEYOR | <input type="checkbox"/> | DU CHATEAU CHAN T 03 9681 1688 |
| TRAFFIC | <input type="checkbox"/> | RATO T 03 9420 3111 |
| WASTE | <input type="checkbox"/> | LEIGH DESIGN PTY LTD T 03 8101 5299 |



| TOWN PLANNING RFI ISSUE | |
|--|--------------------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE LEVEL 01 PLAN |
| SCALE 1:200 @A1 | DATE 8/06/2016 |
| DRAWN AB | CHECKED BD |
| JOB NO. 12208 | DRAWING NO. TP101 |
| REVISION 4 | |



NOTE:
PERCENTAGE OF GROUND FLOOR : 75%

TOWN PLANNING RFI ISSUE

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JA | 3 |
| | REVISED APT LAYOUTS | | | |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AB | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | BY | CHK | NO. |
|-------------------|--|-----|----------------|
| STRUCTURE | <input type="checkbox"/> WEBBER DESIGN PTY LTD | | T 03 9414 7155 |
| SERVICES & ESD | <input type="checkbox"/> FUNDALL | | T 03 9655 3793 |
| BUILDING SURVEYOR | <input type="checkbox"/> DU CHATEAU CHAN | | T 03 9683 1688 |
| TRAFFIC | <input type="checkbox"/> RATO | | T 03 9423 3111 |
| WASTE | <input type="checkbox"/> LEIGH DESIGN PTY LTD | | T 03 8519 5299 |




| | | | |
|---|---------------------------------------|-----------------------------|----------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE LEVEL 02 PLAN | SCALE 1:200 @A1 | |
| DATE 8/06/2016 | FLYOUT DATE 17/07/2018 | CHECKED BD | |
| DRAWN AB | CHECKED BD | JOB NO. 12208 | REVISION 4 |
| | | DRAWING NO. TP102 | |

In accepting and valuing this document the recipient agrees that Plus Architecture Pty. Ltd. (ACN 09102026) makes no warranty, either express or implied, as to the accuracy, completeness or reliability of the information contained herein. The recipient agrees to indemnify Plus Architecture Pty. Ltd. from and against all claims, damages, losses and expenses (including legal costs) in respect of the use of the information contained herein. This Architecture makes no warranty of fitness for any purpose. The Recipient/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.



NOTE:
 PERCENTAGE OF FLOOR BELOW : 45%
 PERCENTAGE OF GROUND FLOOR : 33%

TOWN PLANNING RFI ISSUE

| | | | |
|--|----------------------|---------------------------------------|---|
| PROJECT 92 - 96 WILLIAMSON'S ROAD, DONCASTER | | DRAWING TITLE LEVEL 03 PLAN | |
| SCALE 1:200 @A1 | DATE 8/06/2016 | FLYOUT DATE 17/07/2018 |  |
| DRAWN AB | CHECKED BD | JOB NO. 12208 | |
| DRAWING NO. TP103 | REVISION 4 | | |

| DATE | REVISION | BY | CHK | NO. |
|------------|--|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| | REVISED APPT LAYOUTS & DELETION OF EAST WING | | | |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AB | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | STRUCTURE | SERVICES & ESD | BUILDING SURVEYOR | TRAFFIC | WASTE |
|---|--------------------------|---------------------------|-----------------------------------|------------------------|--|
| WEBBER DESIGN PTY LTD T 03 9614 7155 | <input type="checkbox"/> | CUNDALL T 03 9658 3798 | DU CHATEAU CHAN T 03 9681 1688 | RATO T 03 9423 3111 | LEIGH DESIGN PTY LTD T 03 8101 5299 |



Australian White Group Pty Ltd
 Suite 1, 311 Adelaide Street,
 Melbourne VIC 3000
 Phone: (03) 9888 6566
 Email: info@winexgroup.com.au
 www.winexgroup.com.au

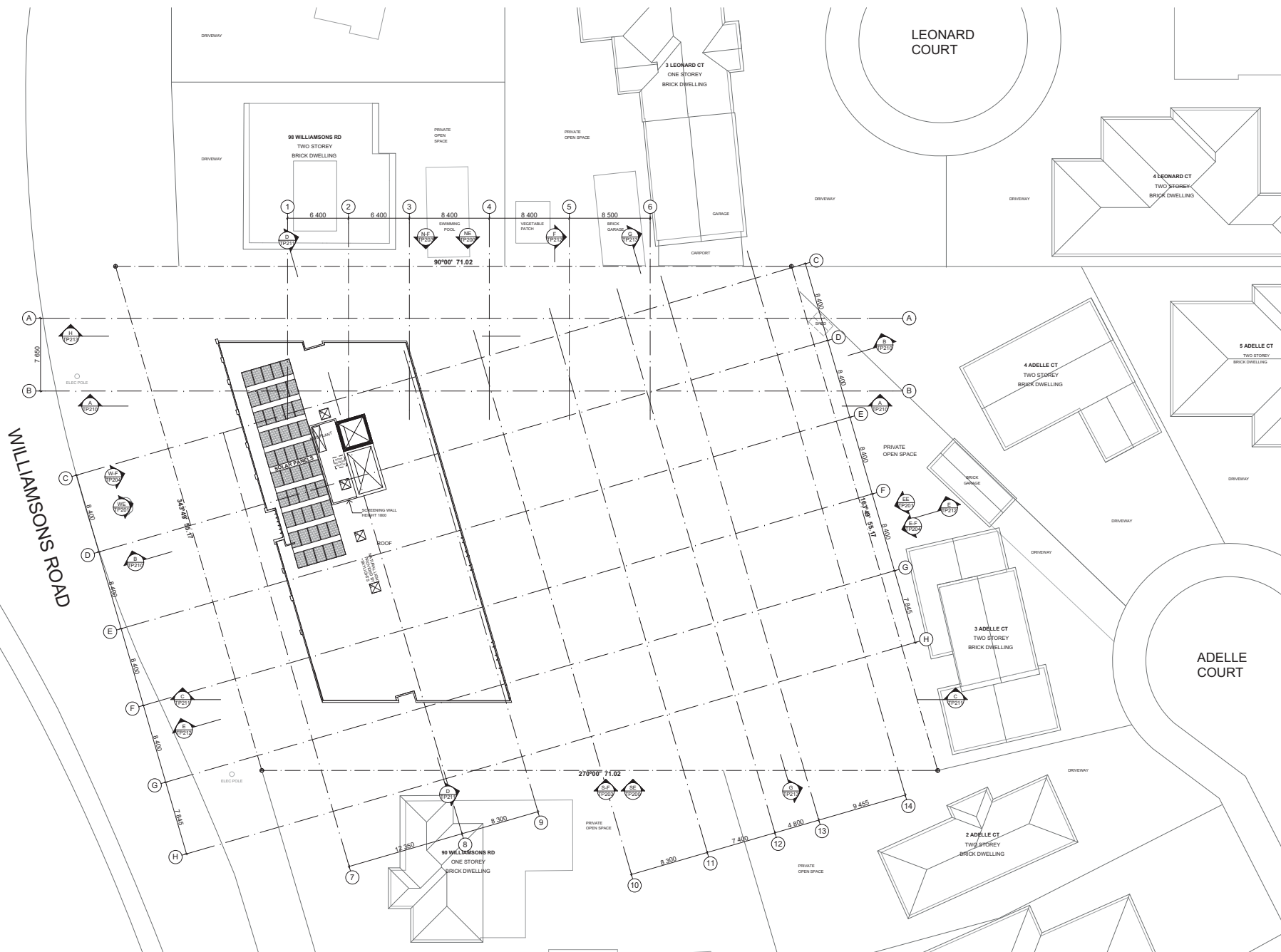


Level 2, 448 St Kilda Road
 Melbourne VIC 3006 Australia
 Plus Architecture Pty Ltd
 ACN 091600335

Malbourne
 Brisbane
 New Zealand

Telephone
 +61 3 9096 3999
 facsimile
 +61 3 9096 3999
 arch@plusarchitecture.com.au
 www.plusarchitecture.com.au

In accepting and valuing this document the recipient agrees that Plus Architecture Pty Ltd ACN 091600335, its officers, employees, agents, contractors and other third parties own and retain all intellectual property rights. The recipient agrees to indemnify Plus Architecture Pty Ltd from and hold it harmless from all claims, damages, costs and expenses (including reasonable legal costs) arising from the use of this document for any purpose other than that for which it was prepared, without the prior written consent of Plus Architecture Pty Ltd. The recipient agrees to hold Plus Architecture Pty Ltd harmless from all claims, damages, costs and expenses (including reasonable legal costs) arising from the use of this document for any purpose other than that for which it was prepared, without the prior written consent of Plus Architecture Pty Ltd.



| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | LD | MR | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AR | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | CHK | NO. |
|-------------------|--|----------------|
| STRUCTURE | <input type="checkbox"/> WEBBER DESIGN PTY LTD | T 03 9414 7155 |
| SERVICES & ESD | <input type="checkbox"/> CUNDALL | T 03 9455 3793 |
| BUILDING SURVEYOR | <input type="checkbox"/> DU CHATEAU CHAN | T 03 9681 1688 |
| TRAFFIC | <input type="checkbox"/> RATO | T 03 9423 3111 |
| WASTE | <input type="checkbox"/> LEIGH DESIGN PTY LTD | T 03 810 5299 |



Australian WinEx Group Pty Ltd
 Suite 1, 201 Adelaide Street,
 Melbourne VIC 3000
 Phone: (03) 9466 6566
 Email: info@winexgroup.com.au
 www.winexgroup.com.au

plus
 Melbourne Sydney
 Level 2, 448 St Kilda Road
 Melbourne VIC 3006 Australia
 Plus Architecture Pty Ltd
 ACN 091600335

Telephone: +61 3 9096 3999
 Facsimile: +61 3 9096 3999
 Email: arch@plusarchitecture.com.au
 www.plusarchitecture.com.au

| TOWN PLANNING RFI ISSUE | |
|---|-----------------------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE ROOF PLAN |
| DATE 8/06/2016 | FLYOUT DATE 17/07/2018 |
| DRAWN AB | CHECKED BD |
| JOB NO. 12208 | DRAWING NO. TP104 |
| SCALE 1:200 @A1 | REVISION 4 |

- 01 APPLIED FINISH - COLOUR 1
- 02 APPLIED FINISH - COLOUR 2
- 03 BRICK - COLOUR 1
- 04 BRICK - COLOUR 2
- 05 BRICK - COLOUR 3
- 06 GLAZING - CLEAR
- 07 GLAZING - DARK TINTED
- 08 GLASS BALUSTRADE
- 09 METAL SCREENING - PERFORATED
- 10 METAL CLADDING - DARK
- 11 METAL PALLISADE FENCE
- 12 METAL FENCE
- 13 METAL CLADDING - LIGHT
- 14 TRELLIS - METAL FINISH
- 15 METAL CLADDING - DARK REFLECTIVE
- 16 TIMBER FENCE
- 17 MIRROR FINISH
- 18 BALUSTRADE TYPE 01 - PERFORATED PRIVACY SCREEN
- 19 BALUSTRADE TYPE 02 - FOLDED PERFORATED PRIVACY SCREEN
- 20 BALUSTRADE TYPE 03 - PLANTER BOX PRIVACY SCREEN



NE NORTH ELEVATION
TP100 SCALE: 1:200@A1



SE SOUTH ELEVATION
TP100 SCALE: 1:200@A1

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | LD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| 17.02.2018 | TOWN PLANNING RFI ISSUE (4) | AN | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | | |
|-------------------|--|----------------|
| STRUCTURE | <input type="checkbox"/> WEBBER DESIGN PTY LTD | T 03 9614 7155 |
| SERVICES & ESD | <input type="checkbox"/> CUNDALL | T 03 9655 3793 |
| BUILDING SURVEYOR | <input type="checkbox"/> DU CHATEAU CHAN | T 03 9681 1688 |
| TRAFFIC | <input type="checkbox"/> RATO | T 03 9423 3111 |
| WASTE | <input type="checkbox"/> LEIGH DESIGN PTY LTD | T 03 8516 5299 |

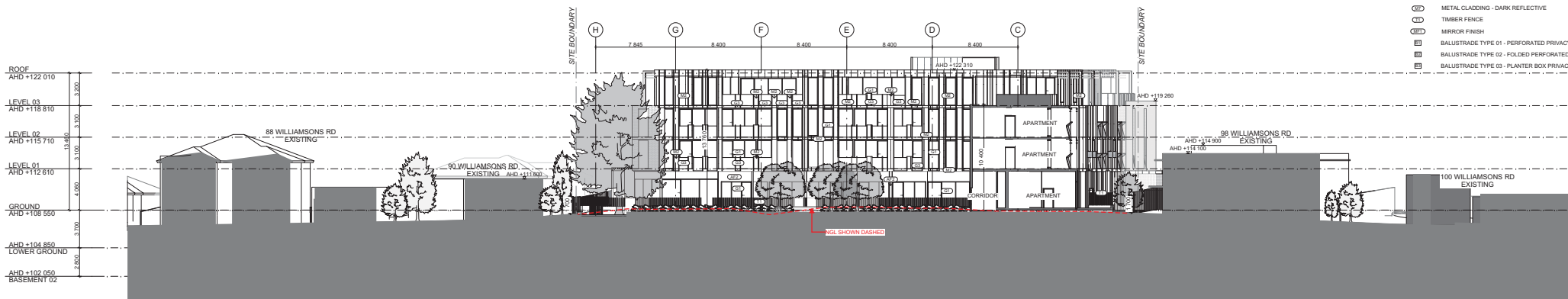


Australian Wildlife Group Pty Ltd
Suite 1, 301 Adelaide Street,
Melbourne VIC 3000
Phone: (03) 9668 6966
Email: info@awggroup.com.au
www.awggroup.com.au

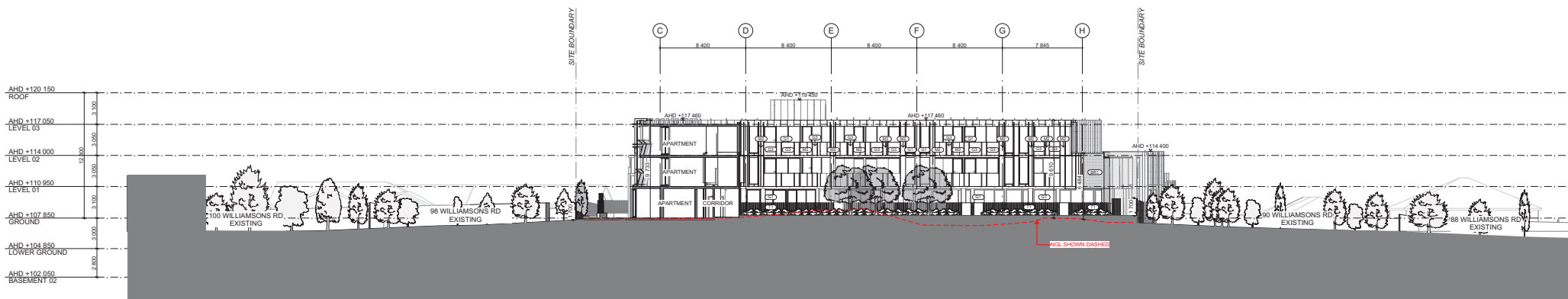
plus
architects
Melbourne Sydney New Zealand
Level 2, 448 St Kilda Road
Melbourne VIC 3006 Australia
Phone: +61 3 9096 3999
Instagram: #plusarchitects
arch@plusarchitecture.com.au
www.plusarchitecture.com.au

| TOWN PLANNING RFI ISSUE | | | |
|---|---|---------------------------|-----------------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE ELEVATION - NORTH + SOUTH | SCALE 1:200 @A1 | |
| DATE 22/06/2016 | CHECKED BD | FLYOUT DATE 17/07/2018 | |
| DRAWN AB | CHECKED BD | JOB NO. 12208 | DRAWING NO. TP200 |
| <small>In accepting and valuing this document the recipient agrees that Plus Architecture Pty Ltd ACN 091020206, whose all contents are, under the law and other applicable copyright and intellectual property rights. The recipient agrees to bear the responsibility for any copies made from this document, to be made in whole or in part, without the prior written consent of Plus Architecture. Under no circumstances shall the recipient be held liable for any loss or damage. This Architecture makes no warranty of fitness for any purpose. The Recipient/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.</small> | | REVISION 4 | |

- 001 APPLIED FINISH - COLOUR 1
- 002 APPLIED FINISH - COLOUR 2
- 003 BRICK - COLOUR 1
- 004 BRICK - COLOUR 2
- 005 BRICK - COLOUR 3
- 006 GLAZING - CLEAR
- 007 GLAZING - DARK TINTED
- 008 GLASS BALUSTRADE
- 009 METAL SCREENING - PERFORATED
- 010 METAL CLADDING - DARK
- 011 METAL PALLISADE FENCE
- 012 METAL FENCE
- 013 METAL CLADDING - LIGHT
- 014 TRELLIS - METAL FINISH
- 015 METAL CLADDING - DARK REFLECTIVE
- 016 TIMBER FENCE
- 017 MIRROR FINISH
- 018 BALUSTRADE TYPE 01 - PERFORATED PRIVACY SCREEN
- 019 BALUSTRADE TYPE 02 - FOLDED PERFORATED PRIVACY SCREEN
- 020 BALUSTRADE TYPE 03 - PLANTER BOX PRIVACY SCREEN



EE2 EAST ELEVATION
TP100 SCALE: 1:200@A1



WE2 WEST ELEVATION
TP100 SCALE: 1:200@A1

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | LD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AN | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | | | |
|-------------------|--------------------------|-----------------------|----------------|
| STRUCTURE | <input type="checkbox"/> | WEBBER DESIGN PTY LTD | T 03 9614 7155 |
| SERVICES & ESD | <input type="checkbox"/> | CUNDALL | T 03 9650 3790 |
| BUILDING SURVEYOR | <input type="checkbox"/> | DU CHATEAU CHAN | T 03 9681 1688 |
| TRAFFIC | <input type="checkbox"/> | RATO | T 03 9423 3111 |
| WASTE | <input type="checkbox"/> | LEIGH DESIGN PTY LTD | T 03 8516 5299 |



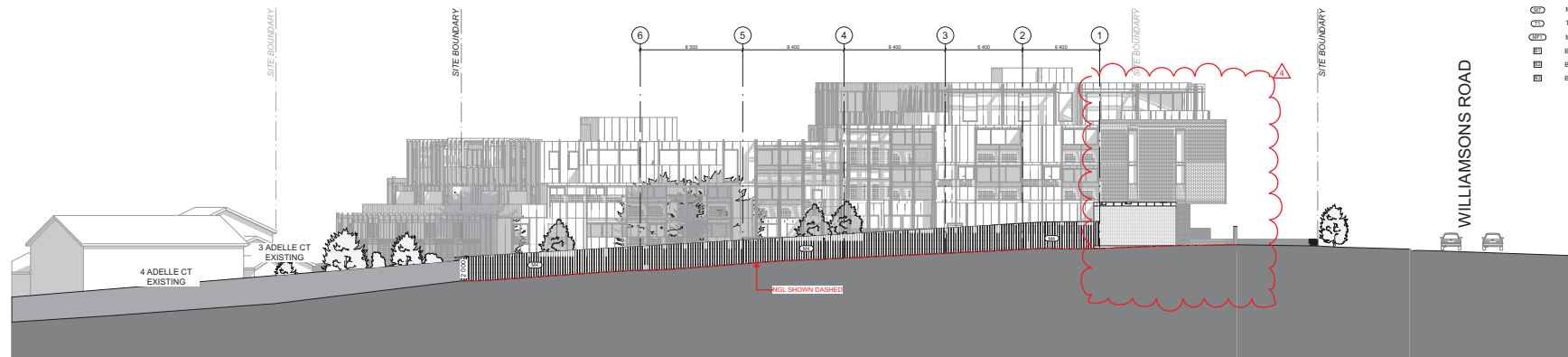
Australian Wildlife Group Pty Ltd
Suite 1, 301 Adelaide Street,
Melbourne VIC 3000
Phone: (03) 9668 6968
www.winexproperty.com.au



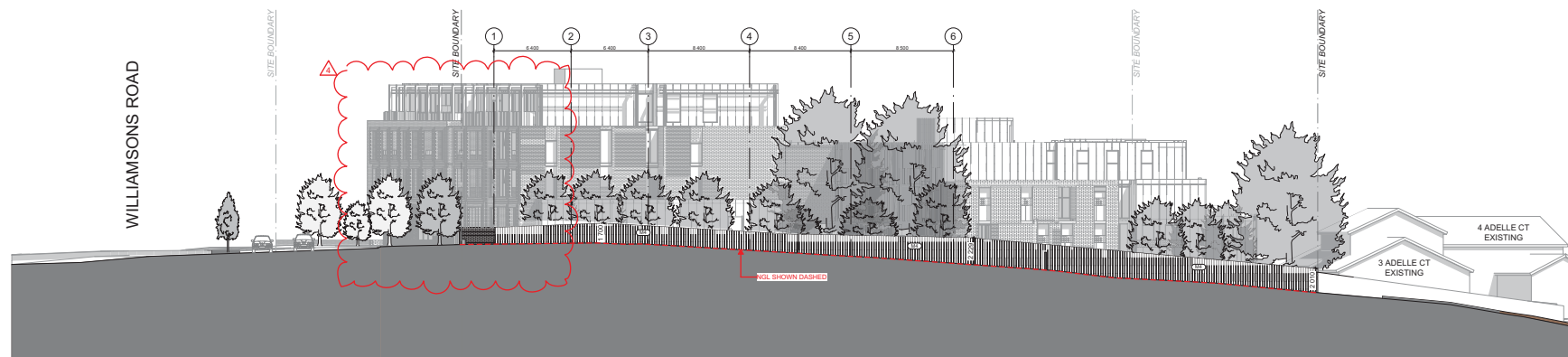
Melbourne Sydney
Brisbane New Zealand
Level 2, 448 St Kilda Road
Melbourne VIC 3006 Australia
Phone: +61 3 9098 3999
Tel: +61 3 9098 3999
plus@plusarchitecture.com.au
www.plusarchitecture.com.au

| TOWN PLANNING RFI ISSUE | | | |
|--|---|-----------------------------|----------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE COURTYARD ELEVATION - EAST + WEST | SCALE 1:200 @A1 | |
| DATE 22/06/2016 | DATE 17/07/2018 | FLYOUT DATE 17/07/2018 | |
| DRAWN AB | CHECKED BD | JOB NO. 12208 | REVISION 4 |
| <small>In accepting and valuing this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 09102026, retains all copyright law, trademark law and other rights including copyright and intellectual property rights. The recipient agrees to bear the full cost of any printing or other reproduction of this document. No other rights against Plus Architecture resulting from unauthorised changes, or to make the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall transfer of this document be deemed a sale. This Architecture makes no warranty of fitness for any purpose. The Recipient/Contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.</small> | | DRAWING NO. TP202 | |

- APPLIED FINISH - COLOUR 1
- APPLIED FINISH - COLOUR 2
- BRICK - COLOUR 1
- BRICK - COLOUR 2
- BRICK - COLOUR 3
- GLAZING - CLEAR
- GLAZING - DARK TINTED
- GLASS BALUSTRADE
- METAL SCREENING - PERFORATED
- METAL CLADDING - DARK
- METAL PALLISADE FENCE
- METAL FENCE
- METAL CLADDING - LIGHT
- TRELLIS - METAL FINISH
- METAL CLADDING - DARK REFLECTIVE
- TIMBER FENCE
- MIRROR FINISH
- BALUSTRADE TYPE 01 - PERFORATED PRIVACY SCREEN
- BALUSTRADE TYPE 02 - FOLDED PERFORATED PRIVACY SCREEN
- BALUSTRADE TYPE 03 - PLANTER BOX PRIVACY SCREEN



N-F NORTH ELEVATION FENCE
 (TP100) SCALE: 1:200@A1



S-F SOUTH ELEVATION FENCE
 (TP100) SCALE: 1:200@A1

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | LJD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AR | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | STRUCTURE | SERVICES & ESD | BUILDING SURVEYOR | TRAFFIC | WASTE |
|--|-----------------------------------|--|-------------------------------|--|--|
| <input type="checkbox"/> WEBBER DESIGN PTY LTD | <input type="checkbox"/> TUNSTALL | <input type="checkbox"/> DU CHATEAU CHAN | <input type="checkbox"/> RATO | <input type="checkbox"/> LESH DESIGN PTY LTD | <input type="checkbox"/> WEBBER DESIGN PTY LTD |
| T 03 9614 7155 | T 03 9650 3790 | T 03 9681 1688 | T 03 9423 3111 | T 03 8316 5399 | |



Australian WinEx Group Pty Ltd
 Suite 1, 101 Adelaide Street,
 Melbourne VIC 3000
 Phone: (03) 9668 6966
 Email: info@winexgroup.com.au
 www.winexgroup.com.au

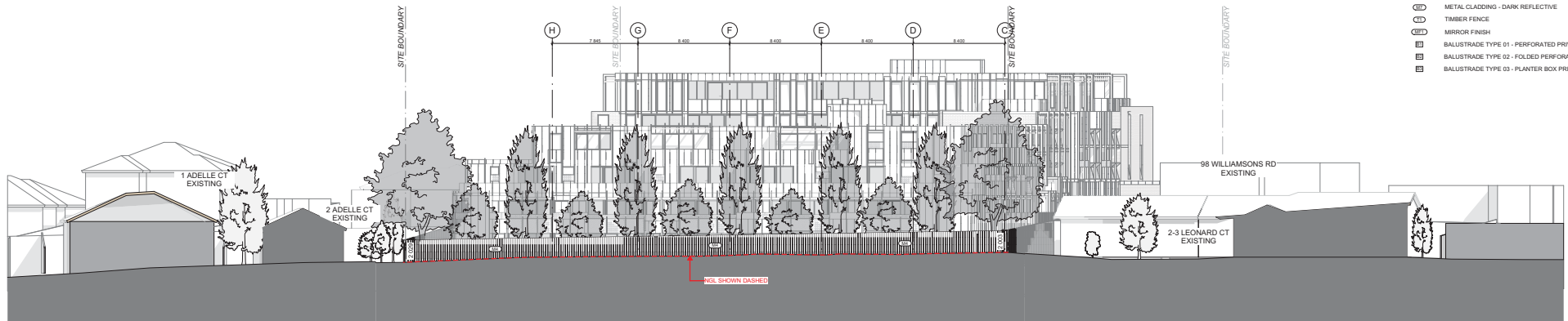


Level 2, 448 St Kilda Road
 Melbourne VIC 3006 Australia
 Plus Architecture Pty. Ltd.
 ACN 091600335

Sydney
 New Zealand
 Telephone: +61 3 9006 3999
 Instagram: #plusarchitecture
 arch@plusarchitecture.com.au
 www.plusarchitecture.com.au

| TOWN PLANNING RFI ISSUE | | | |
|---|---|---------------------------|-----------------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE FENCE ELEVATION - NORTH + SOUTH | SCALE 1:200 @A1 | |
| DATE 22/06/2016 | DATE 17/07/2018 | FLYOUT DATE 17/07/2018 | |
| DRAWN AB | CHECKED BD | JOB NO. 12208 | DRAWING NO. TP203 |
| In accepting and valuing this document the recipient agrees that Plus Architecture Pty. Ltd. ACN 091600335, agent of contractor, shall have no and other rights including copyright and intellectual property rights. The recipient agrees to bear the risk associated with any copies made from this document. No liability shall be accepted by Plus Architecture resulting from unauthorised changes, or to make the document on other projects without the prior written consent of Plus Architecture. Under no circumstances shall liability of this document be deemed a sale. This Architecture makes no warranty of fitness for any purpose. The fabricator/contractor shall verify all dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work. | | REVISION 4 | |

- APPLIED FINISH - COLOUR 1
- APPLIED FINISH - COLOUR 2
- BRICK - COLOUR 1
- BRICK - COLOUR 2
- BRICK - COLOUR 3
- GLAZING - CLEAR
- GLAZING - DARK TINTED
- GLASS BALUSTRADE
- METAL SCREENING - PERFORATED
- METAL CLADDING - DARK
- METAL FENCE
- METAL CLADDING - LIGHT
- TRELLIS - METAL FINISH
- METAL CLADDING - DARK REFLECTIVE
- TIMBER FENCE
- MIRROR FINISH
- BALUSTRADE TYPE 01 - PERFORATED PRIVACY SCREEN
- BALUSTRADE TYPE 02 - FOLDED PERFORATED PRIVACY SCREEN
- BALUSTRADE TYPE 03 - PLANTER BOX PRIVACY SCREEN



E-F EAST ELEVATION
 (TP100) SCALE: 1:200@A1



W-F WEST ELEVATION
 (TP100) SCALE: 1:200@A1

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AR | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | | | |
|-------------------|--|----------------|--|
| STRUCTURE | <input type="checkbox"/> WEBBER DESIGN PTY LTD | T 03 9614 7155 | |
| SERVICES & ESD | <input type="checkbox"/> CUNDALL | T 03 9655 3793 | |
| BUILDING SURVEYOR | <input type="checkbox"/> DU CHATEAU CHAN | T 03 9681 1688 | |
| TRAFFIC | <input type="checkbox"/> RATO | T 03 9423 3111 | |
| WASTE | <input type="checkbox"/> LEIGH DESIGN PTY LTD | T 01 6116 5299 | |



Australian Wildlife Group Pty Ltd
 Suite 1, 311 Adelaide Street,
 Melbourne VIC 3000
 Phone: (03) 9662 6766
 Email: info@awggroup.com.au
 www.awggroup.com.au

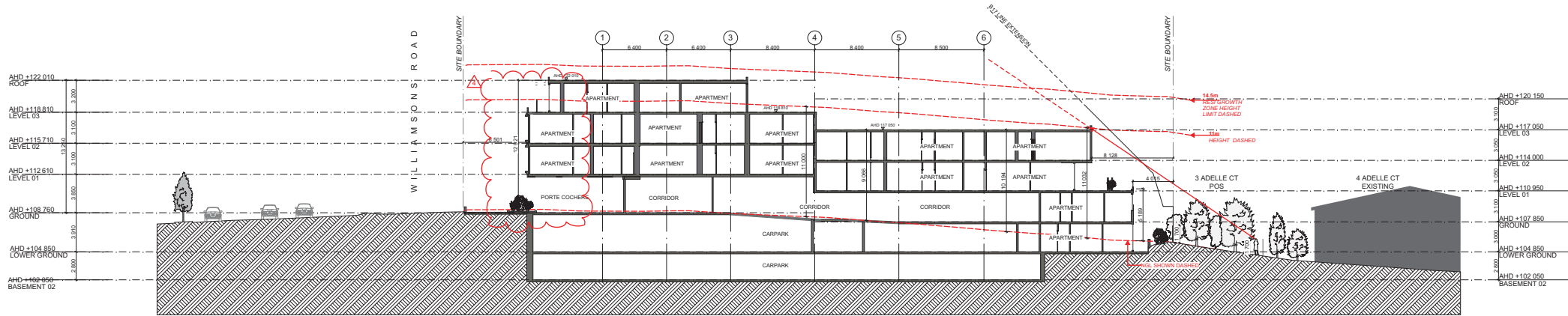


Melbourne Sydney
 Brisbane New Zealand
 Level 2, 448 St Kilda Road
 Melbourne VIC 3006 Australia
 Telephone: +61 3 9096 3999
 Brisbane Brisbane
 Plus Architecture Pty Ltd
 ACN 091600335
 arch@plusarchitecture.com.au
 www.plusarchitecture.com.au

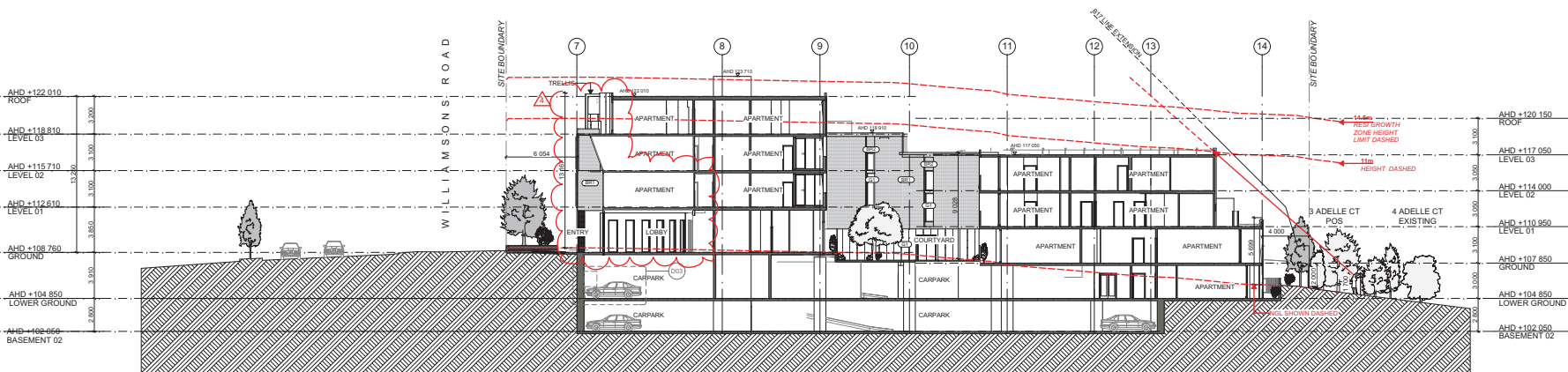
TOWN PLANNING RFI ISSUE

| PROJECT | | DRAWING TITLE | | SCALE | JOB NO. | DRAWING NO. | REVISION |
|-------------------------------------|------------|-------------------------------|------------|-----------|---------|-------------|----------|
| 92 - 96 WILLIAMSONS ROAD, DONCASTER | | FENCE ELEVATION - EAST + WEST | | 1:200 @A1 | | | |
| DATE | 22/06/2016 | FLYOUT DATE | 17/07/2018 | | | | |
| DRAWN | ABD | CHECKED | BD | | | | |

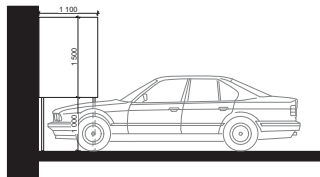
In accepting and valuing this document the recipient agrees that Plus Architecture Pty Ltd, ACN 091600335, retains all copyright, trademark and other rights including copyright and intellectual property rights. The recipient agrees to indemnify Plus Architecture Pty Ltd from any and all claims, damages, costs and expenses, including legal costs, arising from any use of this document in any way other than as expressly permitted in writing by Plus Architecture Pty Ltd. This Architecture makes no warranty of fitness for any purpose. The recipient's attention is drawn to the fact that this document is for informational purposes only and should not be used for any other purpose. The recipient's attention is drawn to the fact that this document is for informational purposes only and should not be used for any other purpose. The recipient's attention is drawn to the fact that this document is for informational purposes only and should not be used for any other purpose.



A SECTION AA
 (TP100) SCALE: 1:200@A1



B SECTION BB
 (TP100) SCALE: 1:200@A1



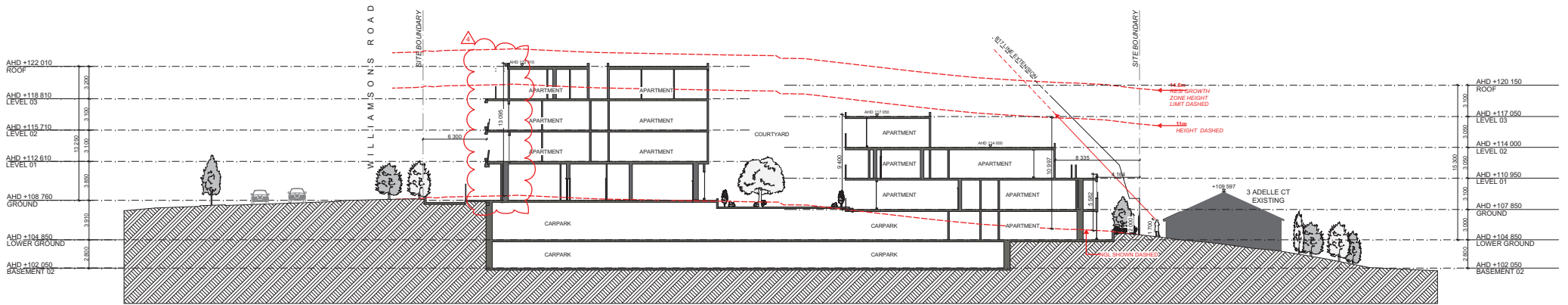
D03 OVER BONNET STORAGE CLEARANCE DETAIL
 (TP210) SCALE: 1:50@A1

| DATE | REVISION | BY | CHK | NO. | DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|------|----------|----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 | | | | | |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 | | | | | |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 | | | | | |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 | | | | | |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AN | BD | 4 | | | | | |

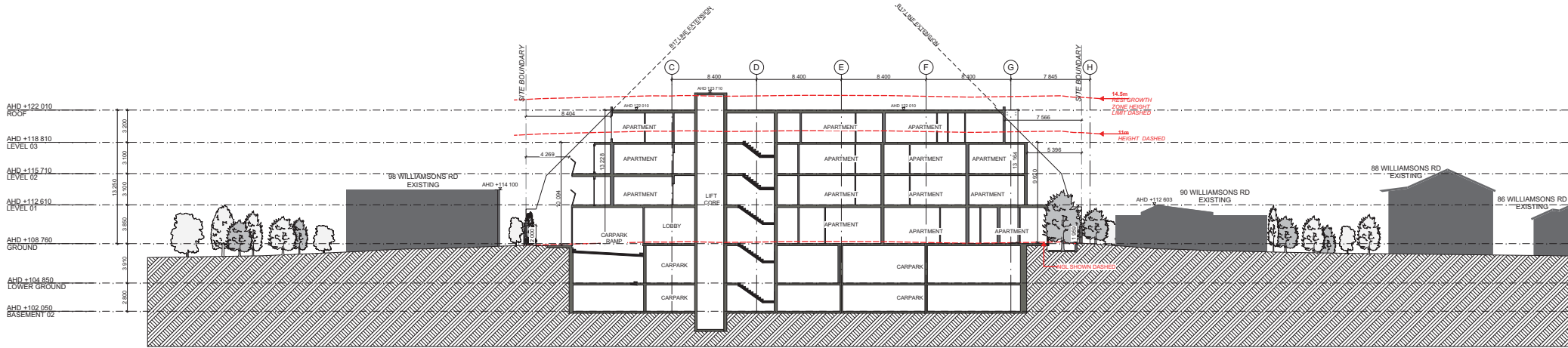
| CONSULTANTS | STRUCTURE | SERVICES & ESD | BUILDING SURVEYOR | TRAFFIC | WRITE |
|--|--|-------------------------------|---|----------------|----------------|
| <input type="checkbox"/> WEBBER DESIGN PTY LTD | <input type="checkbox"/> TUNDALL | <input type="checkbox"/> RATO | <input type="checkbox"/> LADON DESIGN PTY LTD | T 03 9514 7155 | T 03 9555 3798 |
| <input type="checkbox"/> TUNDALL | <input type="checkbox"/> DU CHATEAU CHAN | <input type="checkbox"/> RATO | <input type="checkbox"/> LADON DESIGN PTY LTD | T 03 9551 1888 | T 03 9423 3111 |
| <input type="checkbox"/> LADON DESIGN PTY LTD | | | | T 03 9423 3111 | T 03 6116 5299 |



| TOWN PLANNING RFI ISSUE | |
|---|---|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE SECTION - A + B |
| SCALE 1:200, 1:50 @A1 | DATE 22/06/2016 |
| DRAWN ANB | CHECKED BD |
| JOB NO. 12208 | DRAWING NO. TP210 |
| PLUT DATE 17/07/2018 | REVISION 4 |



C SECTION CC
TP100 SCALE: 1:200@A1



D SECTION DD
TP100 SCALE: 1:200@A1

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| 17.02.2018 | TOWN PLANNING RFI ISSUE (4) | AR | BD | 4 |

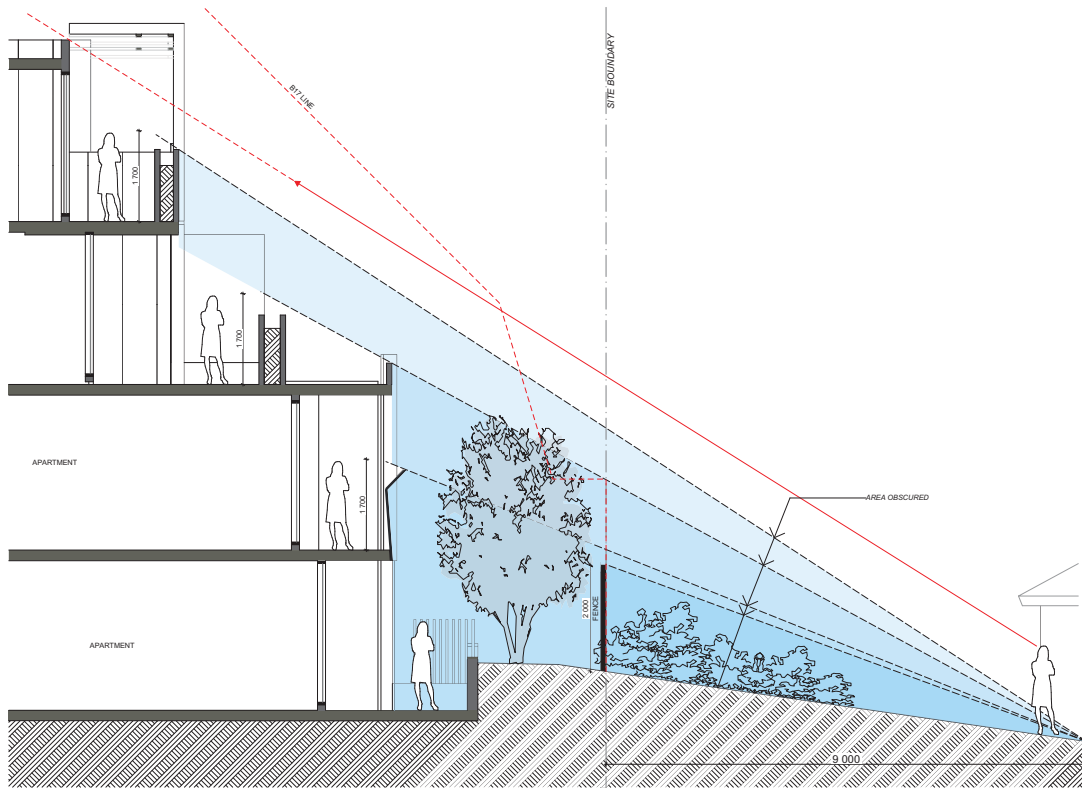
| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | STRUCTURE | SERVICES & ESD | BUILDING SURVEYOR | TRAFFIC | WRITE |
|--|----------------|---|-------------------|-------------------------------|----------------|
| <input type="checkbox"/> WEBBER DESIGN PTY LTD | T 03 9414 7155 | <input type="checkbox"/> CUNDALL | T 03 9455 3794 | <input type="checkbox"/> RATO | T 03 9423 3111 |
| <input type="checkbox"/> DU CHATEAU CHAN | T 03 9681 1688 | <input type="checkbox"/> LEIGH DESIGN PTY LTD | T 03 6116 5299 | | |

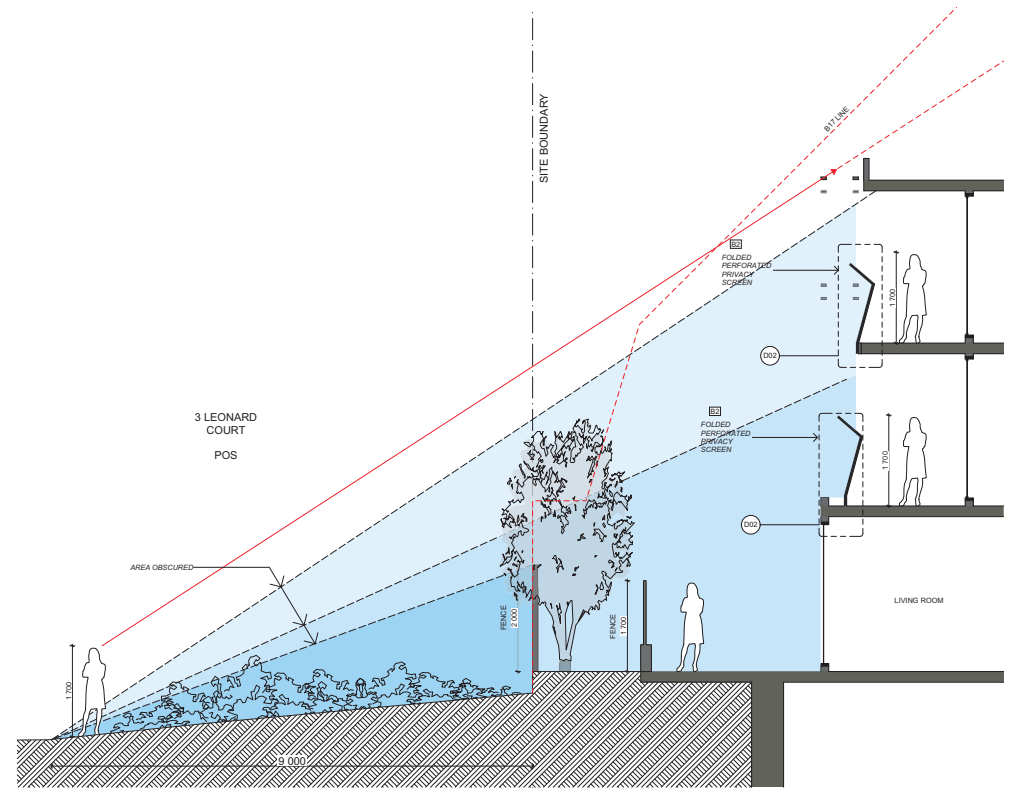


Melbourne Sydney
Brisbane New Zealand
Level 2, 448 St Kilda Road
Melbourne VIC 3006 Australia
Plus Architecture Pty. Ltd.
ACN 091600326

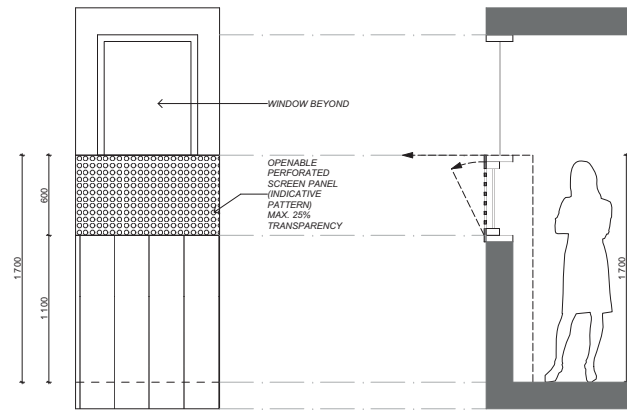
| TOWN PLANNING RFI ISSUE | |
|---|---|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE SECTION - C + D |
| SCALE 1:200 @A1 | DATE 22/06/2016 |
| DATE 17/07/2018 | PILOT DATE 17/07/2018 |
| DRAWN AB | CHECKED BD |
| JOB NO. 12208 | DRAWING NO. TP211 |
| REVISION 4 | |



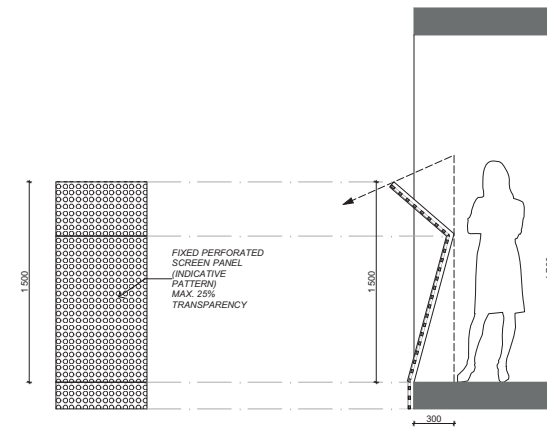
E SECTION EE
 (TP100) SCALE: 1:50@A1



F SECTION FF
 (TP100) SCALE: 1:50@A1



D01 PERFORATED PRIVACY SCREEN - ELEVATION & DETAIL
 (L1) SCALE: 1:20@A1



D02 FOLDED PERFORATED PRIVACY SCREEN - ELEVATION & DETAIL
 (TP212) SCALE: 1:20@A1

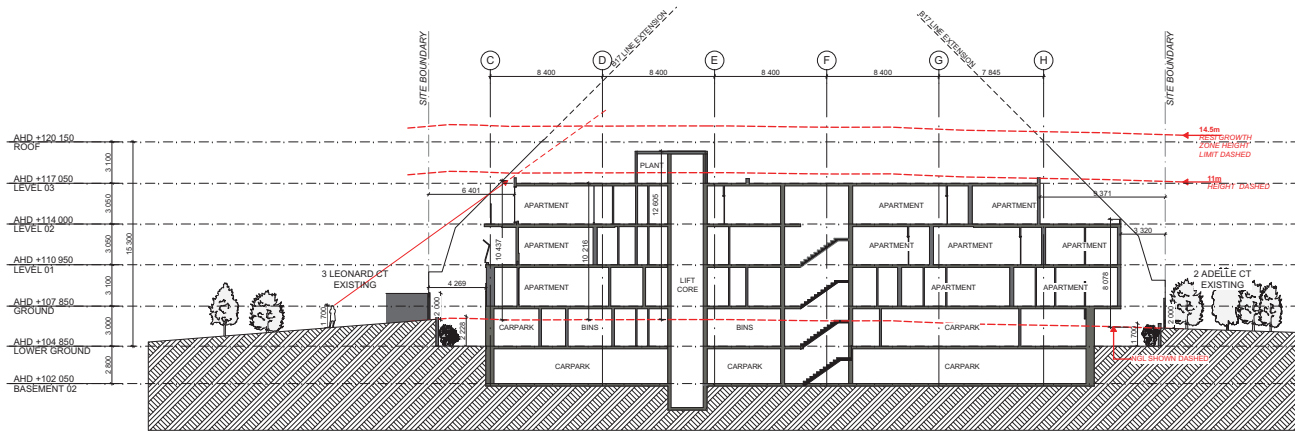
| DATE | REVISION | BY | CHK | NO. | DATE | REVISION | BY | CHK | NO. |
|------------|-------------------------|----|-----|-----|------|----------|----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | LD | MA | 1 | | | | | |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 | | | | | |

| CONSULTANTS | STRUCTURE | SERVICES & ESD | BUILDING SURVEYOR | TRAFFIC | WASTE |
|--|--|----------------------------------|--|-------------------------------|---|
| <input type="checkbox"/> WEBBER DESIGN PTY LTD | <input type="checkbox"/> WEBBER DESIGN PTY LTD | <input type="checkbox"/> TUNDALL | <input type="checkbox"/> DU CHATEAU CHAN | <input type="checkbox"/> RATO | <input type="checkbox"/> LEIGH DESIGN PTY LTD |
| | T 03 9614 7155 | T 03 9655 3795 | T 03 9661 1688 | T 03 9423 3111 | T 03 8116 5299 |

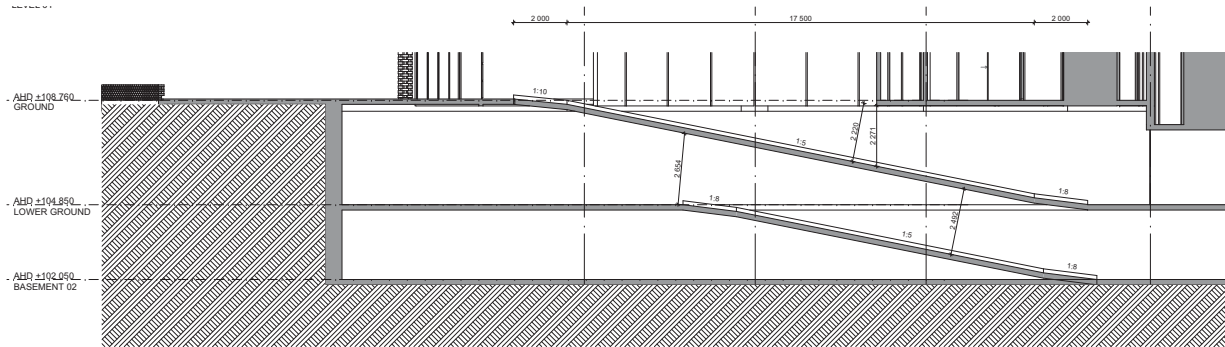


Level 2, 445 St Kilda Road
 Melbourne VIC 3006 Australia
 Plus Architecture Pty. Ltd.
 ACN 091690326

| PROJECT | | DRAWING TITLE | |
|-------------------------------------|------------|-----------------|------------|
| 92 - 96 WILLIAMSONS ROAD, DONCASTER | | SECTION - E + F | |
| SCALE | 1:50 @A1 | DATE | 22/06/2016 |
| DATE | 17/07/2018 | DRAWN | BD |
| CHECKED | BD | JOB NO. | 12208 |
| DRAWING NO. | TP212 | REVISION | 1 |



G SECTION G-G
SCALE: 1:200@A1



H SECTION RAMP
SCALE: 1:100@A1

| DATE | REVISION | BY | CHK | NO. |
|------------|-----------------------------|-----|-----|-----|
| 14.07.2016 | TOWN PLANNING ISSUE | JD | MA | 1 |
| 13.09.2016 | TOWN PLANNING RFI ISSUE | JD | CN | 1 |
| 16.02.2017 | TOWN PLANNING RFI ISSUE (2) | MG | JE | 2 |
| 27.11.2017 | TOWN PLANNING RFI ISSUE (3) | AMR | JL | 3 |
| 17.07.2018 | TOWN PLANNING RFI ISSUE (4) | AN | BD | 4 |

| DATE | REVISION | BY | CHK | NO. |
|------|----------|----|-----|-----|
| | | | | |
| | | | | |
| | | | | |

| CONSULTANTS | BY | CHK | NO. |
|-------------------|--|----------------|-----|
| STRUCTURE | <input type="checkbox"/> WEBBER DESIGN PTY LTD | T 03 9514 7155 | |
| SERVICES & ESD | <input type="checkbox"/> CUNDALL | T 03 9555 3795 | |
| BUILDING SURVEYOR | <input type="checkbox"/> DU CHATEAU CHAN | T 03 9581 1688 | |
| TRAFFIC | <input type="checkbox"/> RATO | T 03 9423 3111 | |
| WASTE | <input type="checkbox"/> LEIGH DESIGN PTY LTD | T 03 9516 5299 | |



Level 2, 448 St Kilda Road
Melbourne VIC 3006 Australia
Phone: +61 3 9596 3999
Fax: +61 3 9596 3999
www.plusarchitecture.com.au

| TOWN PLANNING RFI ISSUE | | | |
|---|---|---------------------------|----------------------|
| PROJECT 92 - 96 WILLIAMSONS ROAD, DONCASTER | DRAWING TITLE SECTION - G + H | SCALE 1:200, 1:100 @A1 | |
| DATE 22/06/2016 | DATE 17/07/2018 | CHECKED BD | |
| DRAWN AN | CHECKED BD | JOB NO. 12208 | REVISION 4 |
| DRAWING NO. TP213 | | | |

In accepting and valuing this document the recipient agrees that Plus Architecture Pty Ltd ACN 091022026, owner of copyright, shall have and shall retain all intellectual property rights. The recipient agrees not to use this document for any purpose other than to obtain consent to develop the site. This Architecture makes no warranty of fitness for any purpose. The recipient shall verify all dimensions prior to any work commencing. Figure dimensions shall take precedence over scaled work.



22nd SEPTEMBER - 9AM PROPOSED

 PROPOSED ADDITIONAL SHADOWS



22nd SEPTEMBER - 10AM PROPOSED

 PROPOSED ADDITIONAL SHADOWS

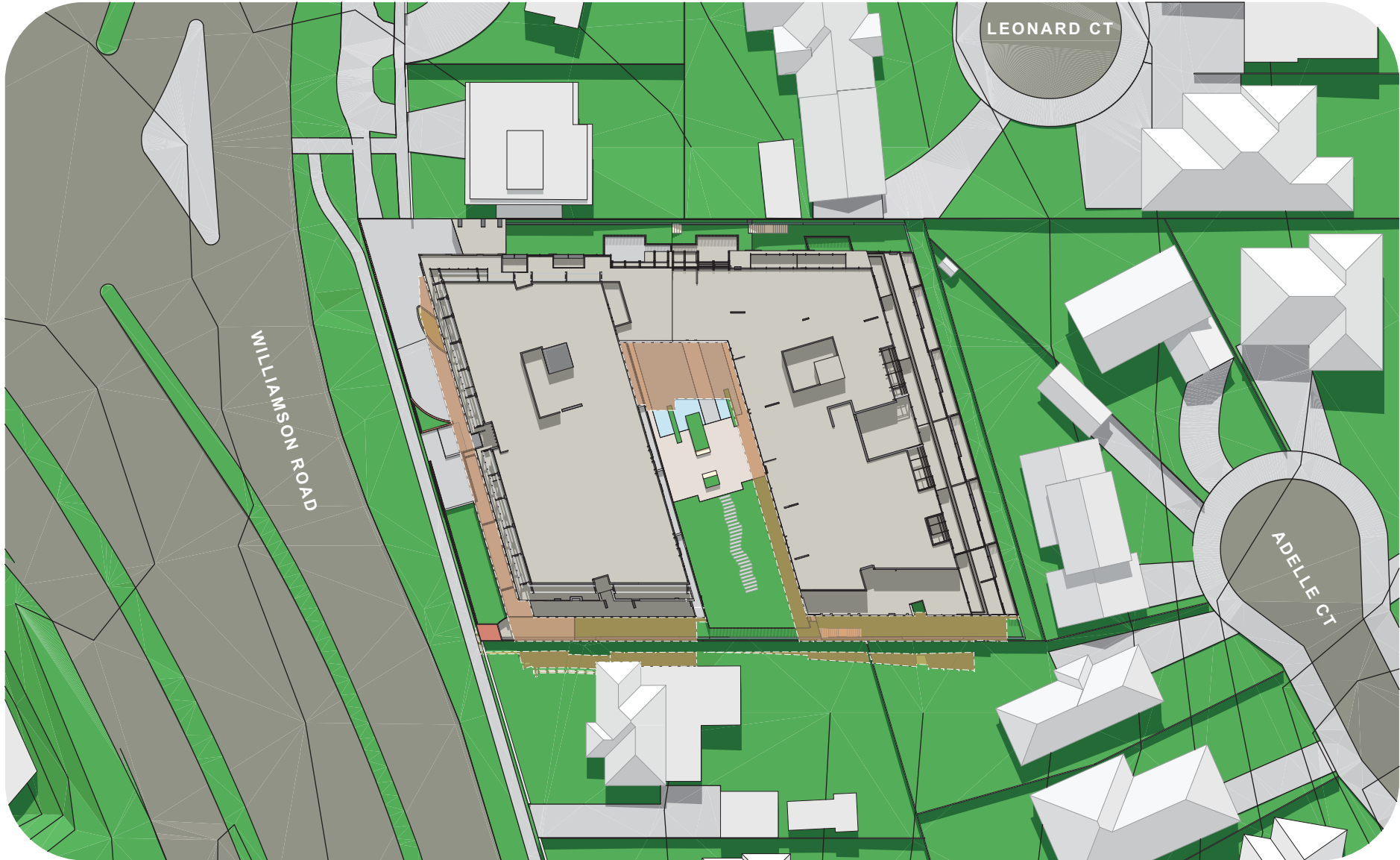




22nd SEPTEMBER - 11AM PROPOSED

PROPOSED ADDITIONAL SHADOWS

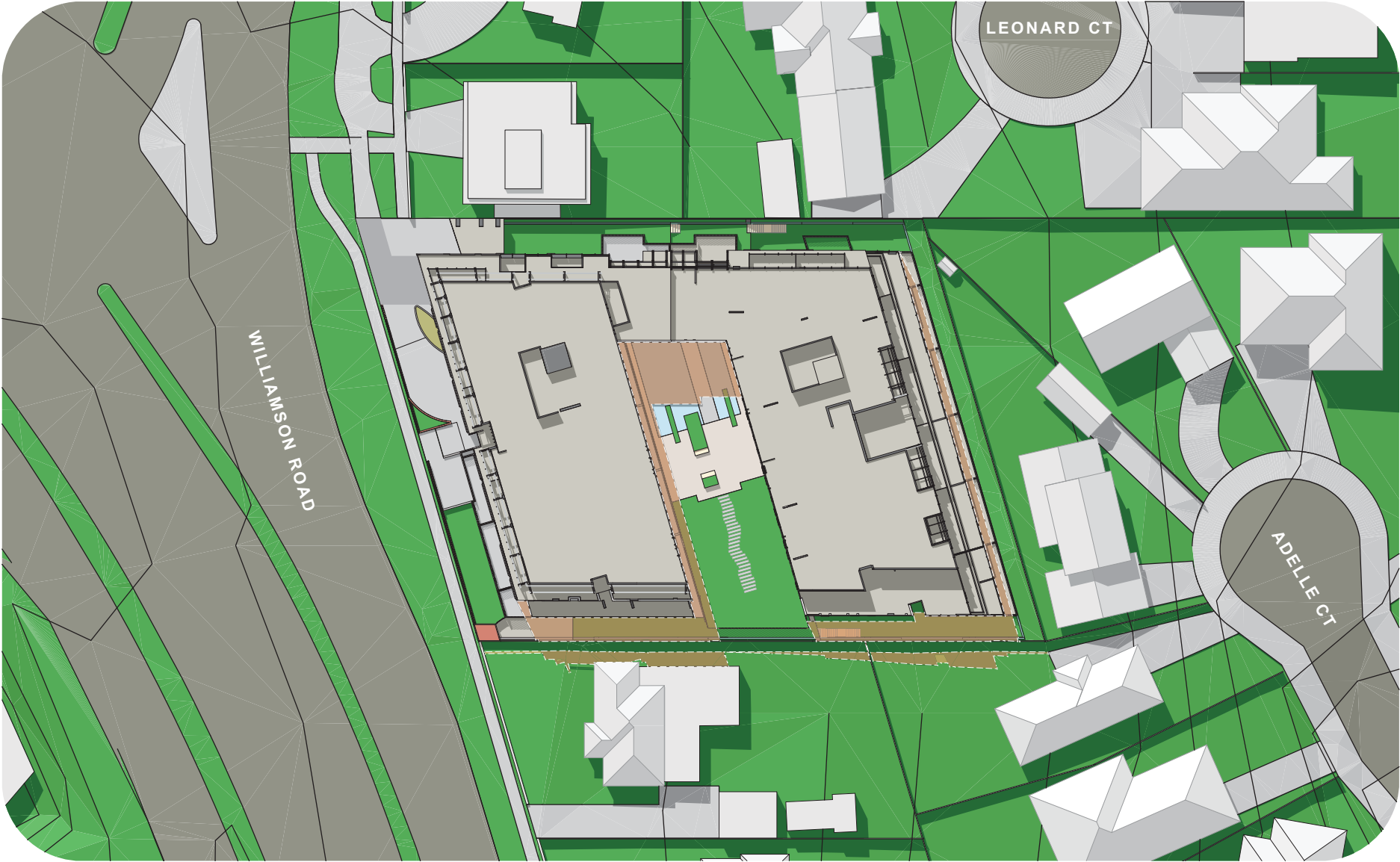




22nd SEPTEMBER - 12PM PROPOSED

PROPOSED ADDITIONAL SHADOWS

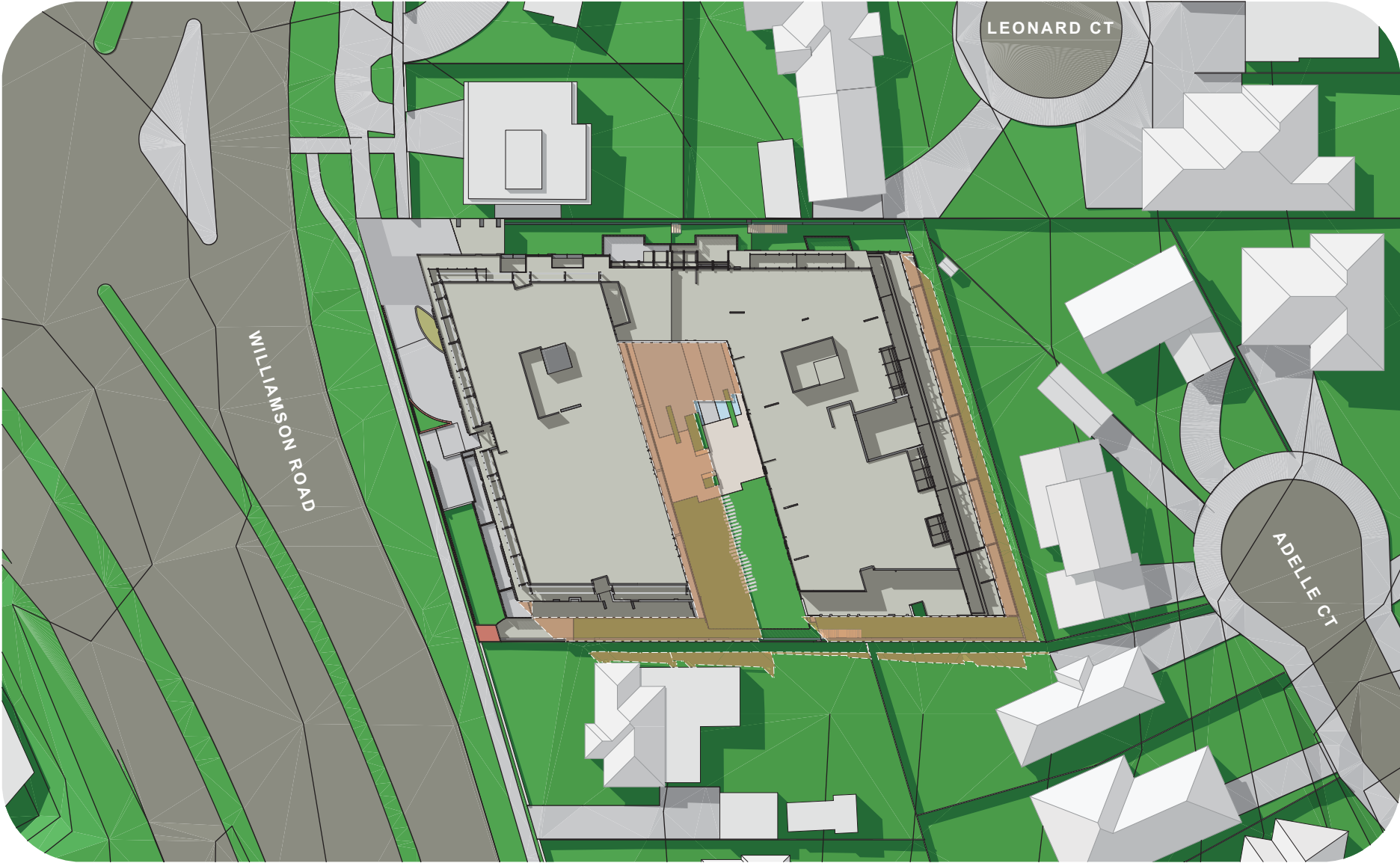




22nd SEPTEMBER - 1PM PROPOSED

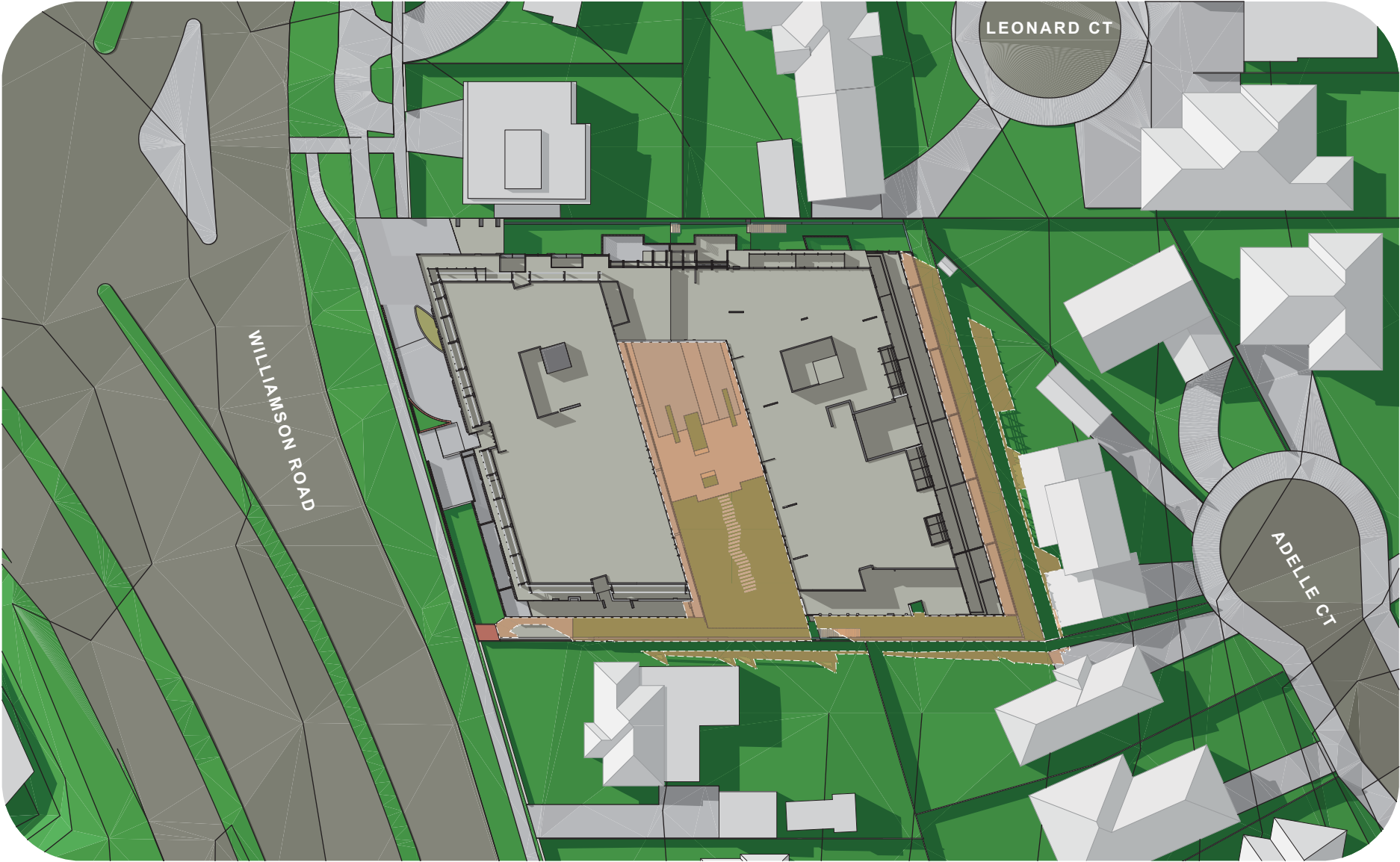
PROPOSED ADDITIONAL SHADOWS





22nd SEPTEMBER - 2PM PROPOSED

PROPOSED ADDITIONAL SHADOWS



22nd SEPTEMBER - 3PM PROPOSED

PROPOSED ADDITIONAL SHADOWS

4

The material schedule grid consists of 12 samples arranged in a 4x3 grid:

- Row 1:**
 - AF1: Solid dark grey/black surface.
 - AF2: Solid medium grey surface.
 - BR1, BR2: Three samples of brickwork in different shades of red and brown.
- Row 2:**
 - BR3: Dark grey/black brickwork.
 - G1, G3: Clear glass balustrade with a metal handrail.
 - G2: Dark tinted glass balustrade with a metal handrail.
- Row 3:**
 - M1: Metal screening with a perforated pattern.
 - M2, M5: Metal cladding in dark and light grey tones.
 - M3: Metal palisade fence with vertical slats.
- Row 4:**
 - M4: Metal fence with vertical slats.
 - T1: Timber fence with vertical slats.

- AF1 APPLIED FINISH - COLOUR 1
- AF2 APPLIED FINISH - COLOUR 2
- BR1 BRICK - COLOUR 1
- BR2 BRICK - COLOUR 2
- BR3 BRICK - COLOUR 3
- G1 GLAZING - CLEAR
- G2 GLAZING - DARK TINTED
- G3 GLASS BALUSTRADE
- M1 METAL SCREENING - PERFORATED
- M2 METAL CLADDING - DARK
- M3 METAL PALLISADE FENCE
- M4 METAL FENCE
- M5 METAL CLADDING - LIGHT
- M6 TRELLIS - METAL FINISH
- T1 TIMBER FENCE

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received and which have not been withdrawn;*
- *Any decision and comments of a referral authority which it has received;*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development; and*
- *Any significant social effects and economic effects which the responsible authority considers the use or development may have.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.07 Residential Growth Zone, Schedule 2
- Clause 43.02 Design and Development Overlay, Schedule 8
- Clause 52.06 Car Parking
- Clause 52.34 Bicycle Facilities
- Clause 52.29 Land Adjacent to a Road Zone Category 1 or a Public Acquisition Overlay for a Category 1 Road
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

Zone

Clause 32.08 General Residential Zone, Schedule 2

The purpose of the General Residential Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.*

- *To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.*
- *To ensure residential development achieves design objectives specified in a schedule to this zone.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot.

An assessment for buildings and works for two or more dwellings is required under the provisions of Clause 55 of the Manningham Planning Scheme.

The purpose of Clause 55 is generally to provide well designed dwellings with considered regard to internal amenity, while at the same time, maintaining the amenity and character of the locality, with particular emphasis on the amenity of adjoining residents.

Overlay

Clause 43.02 Schedule 8 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To support two storey townhouse style dwellings with a higher yield within sub-precinct B and sub-precinct A, where the minimum land size cannot be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *Higher developments on the perimeter of sub-precinct A must be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the building.*
- *To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To create a boulevard effect along Doncaster Road and Manningham Road by planting trees within the front setback that are consistent with the street trees.*
- *To encourage landscaping around buildings to enhance separation between buildings and soften built form.*

The subject land is located within Sub-Precinct *Main Roads*.

Permit Requirement

- A permit is required to construct or carry out works
- A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.

Building Height & Setbacks

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.
- A permit cannot be granted to vary the condition regarding the minimum land size and configuration specified in Table 2 to this Schedule.
- A permit cannot be granted to vary the Maximum Building Height specified in Table 2 to this Schedule. This does not apply to:
 - The rebuilding of a lawful building or works which have been damaged or destroyed.
 - A building which exceeds the specified building height for which a valid building permit was in effect prior of the introduction of this provision.
- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

Table 1

| Sub-Precinct | Maximum Building Height | Condition regarding minimum land size | Street setback |
|--|---|---|--|
| DDO8-1 (Main Road) Sub-precinct | 11 metres provided the condition regarding minimum land size is met. If the condition is not met, the maximum height is 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres. | 1,800 square metres must be all in the same sub-precinct. Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage | For one dwelling on a lot: <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 54.03-1 or 6 metres, whichever is the lesser • Minimum side street setback is the distance specified in Clause 54.03-1 For two or more dwellings on a lot or a residential building: <ul style="list-style-type: none"> • Minimum front street setback is the distance |

| | |
|--|---|
| | <p>specified in Clause 55.03-1 or 6 metres, whichever is the lesser</p> <ul style="list-style-type: none"> • Minimum side street setback is the distance specified in Clause 55.03-1 |
|--|---|

Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- *Promote good urban design to make the environment more liveable and attractive.*
- *Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.*
- *Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.*
- *Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.*
- *Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*

Clause 15.01-2 (Urban Design Principle) policy objective is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State’s *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
- *The underlying natural landscape character.*
- *The heritage values and built form that reflect community identity.*
- *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*
- *Support low energy forms of transport such as walking and cycling.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*

The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Encourage housing that is both water efficient and energy efficient.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of housing in Metropolitan Melbourne to be developed within the established urban area, particularly at activity centres, employment corridors and at other strategic sites, and reduce the share of new dwellings in greenfield and dispersed development areas.*

- *Encourage higher density housing development on sites that are well located in relation to activity centres, employment corridors and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within the established urban area to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-3 Strategic redevelopment sites

The policy objective is:

- *To identify strategic redevelopment sites for large residential development in Metropolitan Melbourne.*

Specific reference is made at clause 16.01-3 to “strategic redevelopment sites” which are described as:

- *in and around Central Activity Centres;*
- *in or within easy walking distance of Principal or Major Activity Centres;*
- *in or beside Neighbourhood Activity Centres that are well served by public transport;*
- *on or abutting tram, train, light rail and bus routes that are part of the Principal Public Transport Network and close to employment corridors, Central Activities Districts, Principal or Major Activity Centres;*
- *in or near major modal public transport interchanges that are not in Principal or Major Activity Centres;*
- *able to provide ten or more dwellings, close to activity centres and well served by public transport.*

Clause 16.01-4 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 18.01-1 integrated Transport: Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

Clause 18.02-1 Movement networks: Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

Clause 18.02-2 Cycling

The policy objective is:

- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

The clause includes several strategies to achieve this objective including to:

Require the provision of adequate bicycle parking and related facilities to meet demand at education, recreation, shopping and community facilities and other major attractions when issuing planning approvals.

Clause 18.02-4 Management of the road system

The policy objective is:

- *To manage the road system to achieve integration, choice and balance by developing and efficient and safe network and making the most of existing infrastructure.*

Clause 18.02-5 Car parking

The policy objective is:

- *To ensure an adequate supply of car parking that is appropriately designed and located.*

Local Planning Policy Framework (LPPF)

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

The site is within "Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads".

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The three sub-precincts within Precinct 2 consist of:

Sub-precinct – Main Road (DDO8-1) is an area where three storey (11 metres) 'apartment style' developments are encouraged on land with a minimum area of 1,800m². Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage. The area of 1,800m² must all be in the same sub-precinct. All development in the Main Road sub-precinct should have a maximum site coverage of 60 percent.

Higher developments on the perimeter of the Main Road sub-precinct should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct A or B, or other adjoining zone.

Sub-precinct A (DDO8-2) is an area where two storey units (9 metres) and three storey (11 metres) 'apartment style' developments are encouraged. Three storey, contemporary developments should only occur on land with a minimum area of 1800m². Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage. The area of 1800m² must all be in the same sub-precinct. In this sub-precinct, if a lot has an area less than 1800m², a townhouse style development proposal

only will be considered, but development should be a maximum of two storeys. All development in Sub-precinct A should have a maximum site coverage of 60 percent. Higher developments on the perimeter of sub-precinct A should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B, or other adjoining zone.

Sub-precinct B (DDO8-3) is an area where single storey and two storey dwellings only will be considered and development should have a maximum site coverage of 60 percent. There is no minimum land area for such developments.

The site is located within the **Main Road Sub-Precinct**.

Development in Precinct 2 should:

- *Provide for contemporary architecture*
- *Achieve high design standards*
- *Provide visual interest and make a positive contribution to the streetscape*
- *Provide a graduated building line from side and rear boundaries*
- *Minimise adverse amenity impacts on adjoining properties*
- *Use varied and durable building materials*
- *Incorporate a landscape treatment that enhances the overall appearance of the development.*
- *Integrate car parking requirements into the design of buildings and landform.*

Clause 21.05-2 Housing

The relevant objectives of this policy are:

- *To accommodate Manningham's projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*
- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality's population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.*
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

Clause 21.05-4 Built form and neighbourhood character

The objective of this policy is:

- *To ensure that residential development enhances the existing or preferred neighbourhood character of the residential character precincts as shown on Map 1 to this Clause.*

The strategies to achieve this objective include:

- *Require residential development to be designed and landscaped to make a positive contribution to the streetscape and the character of the local area.*
- *Ensure that where development is constructed on steeply sloping sites that any development is encouraged to adopt suitable architectural techniques that minimise earthworks and building bulk.*
- *Ensure that development is designed to provide a high level of internal amenity for residents.*
- *Require residential development to include stepped heights, articulation and sufficient setbacks to avoid detrimental impacts to the area's character and amenity.*

Local Planning Policy

Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Particular Provisions

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings
- 1 visitor space to every 5 dwellings for developments of 5 or more dwellings. If any part of the land is identified as being within the Principal Public Transport Network Area as shown on the Principal Public Transport Network Area Maps (State Government of Victoria, August 2018), then Column B applies and no visitor parking is required to be provided. **Column B** applies to the site.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

Clause 52.29 Land Adjacent to a Road Zone Category 1 (RDZ1) or a Public Acquisition Overlay for a Category 1 Road

The purpose of this provision is:

- *To ensure appropriate access to identified roads*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Road Zone, Category 1.

Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, the following number of bicycle spaces are required in development of four or more storeys:

- *1 space for every 5 dwellings for residents.*
- *1 space for every 10 dwellings for visitors.*

Clause 55 Two more dwellings on a lot and residential buildings

The development of two or more dwellings on a lot must meet the requirements of this clause. An assessment against this clause is provided within the body of the report.

General Provisions

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*