

**PROPOSAL FOR 22 TRIPLE STOREY TOWNHOUSES
AT 136-140 ANDERSONS CREEK ROAD, DONCASTER EAST**

TOWN PLANNING DRAWING LIST:

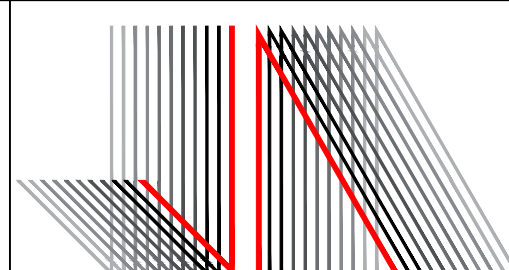
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|------------------------------------|--|
| TP00 - COVER SHEET | TP13 - SECOND FLOOR PLAN (T13-T22) |
| TP01 - PERSPECTIVE | TP14 - ROOF PLAN |
| TP02 - LOCATION PLAN | TP15 - ELEVATIONS(01) |
| TP03 - NEIGHBORHOOD CHARACTER | TP16 - ELEVATIONS(02) |
| TP04 - DESIGN RESPONSE | TP17 - ELEVATIONS(03) |
| TP05 - STREETScape | TP18 - SECTIONS(01) |
| TP06 - DEMOLITION PLAN | TP19 - SECTIONS(02) |
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| TP09 - GROUND FLOOR PLAN (T13-T22) | TP22 - SHADOW DIAGRAMS(1) |
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PERSPECTIVE - ANDERSONS CREEK ROAD

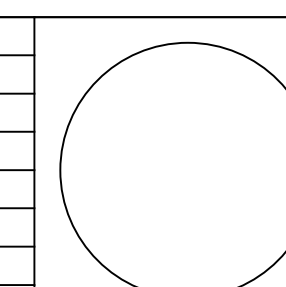
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16.10.2017

Notes
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 ABN: 29 469 352 797

Project	Date	Rev	Description
136-140 Andersons Creek Road, Doncaster East	16-10-2017	A	RFI AMENDMENT
Drawing			
COVER SHEET			



Project Number		Drawing Number	
16050		TP00	
Date	16.10.2017	Scale	Amendment
Drawn	Dai	Checked	AL/JW
			A



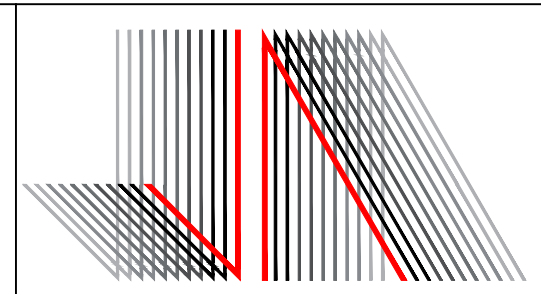
PERSPECTIVE - CORNER OF ANDERSONS CREEK ROAD AND REYNOLDS ROAD



PERSPECTIVE - REYNOLDS ROAD

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16.10.2017

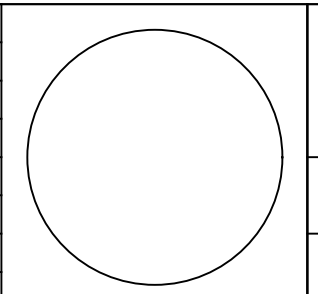
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Project	Date	Rev	Description
136-140 Andersons Creek Road, Doncaster East	16-10-2017	A	RFI AMENDMENT
Drawing			
PERSPECTIVE			

Project Number	16050		Drawing Number	TP01
Date	16.10.2017	Scale	Amendment	
Drawn	Dai	Checked	AL/JW	A

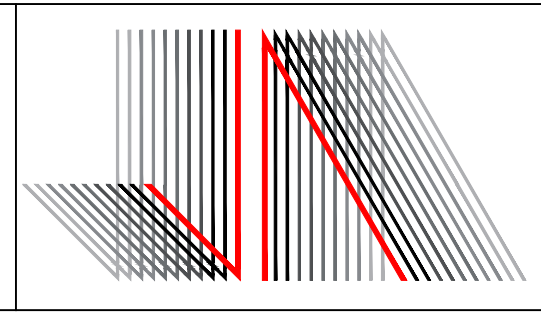




LOCATION PLAN
SCALE 1:600 @ A1

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16.10.2017

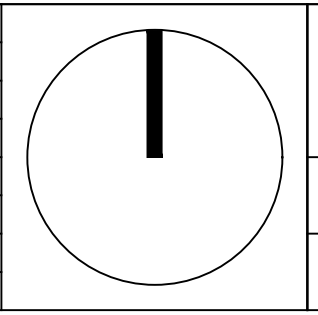
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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	LOCATION PLAN

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



Project Number		16050		Drawing Number		TP02	
Date	16.10.2017	Scale	1:600	Amendment		A	
Drawn	Dai	Checked	AL/JW				

REYNOLDS ROAD

SUBJECT SITE
136-140 ANDERSONS CREEK ROAD
CONCRETE PANEL BUILDING

NO.134
2 STOREY
BRICK HOUSE
PITCHED & TILE ROOF

NO.132
1 STOREY
BRICK HOUSE
PITCHED & TILE ROOF

EXISTING WESTERN STREETScape

SCALE 1:200 @ A1

REYNOLDS ROAD

SUBJECT SITE
136-140 ANDERSONS CREEK ROAD
3 STOREY BRICK & METAL CLADDING &
RENDERED BILDING
METAL ROOF

NO.134
2 STOREY
BRICK HOUSE
PITCHED & TILE ROOF

NO.132
1 STOREY
BRICK HOUSE
PITCHED & TILE ROOF

PROPOSED WESTERN STREETScape

SCALE 1:200 @ A1

NO.6
1 STOREY
RENDERED HOUSE
METAL ROOF
(WIGGENS PLACE)

NO.5
2 STOREY
BRICK HOUSE
TILE ROOF
(WIGGENS PLACE)

SUBJECT SITE
136-140 ANDERSONS CREEK ROAD
CONCRETE PANEL BUILDING

ANDERSONS
CREEK ROAD

EXISTING NORTHERN STREETScape

SCALE 1:200 @ A1

NO.6
1 STOREY
RENDERED HOUSE
METAL ROOF
(WIGGENS PLACE)

NO.5
2 STOREY
BRICK HOUSE
TILE ROOF
(WIGGENS PLACE)

SUBJECT SITE
136-140 ANDERSONS CREEK ROAD
3 STOREY BRICK & METAL CLADDING &
RENDERED BILDING
METAL ROOF

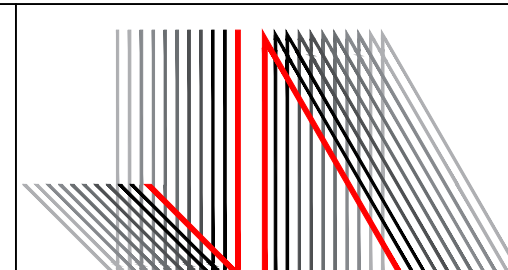
ANDERSONS
CREEK ROAD

PROPOSED NORTHERN STREETScape

SCALE 1:200 @ A1

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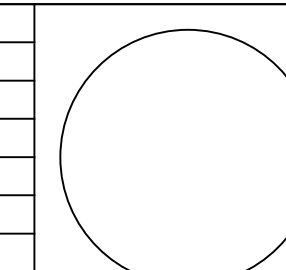


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136-140 Andersons Creek Road, Doncaster East	16-10-2017	A	RFI AMENDMENT
Drawing			
STREETSCAPES			

Project Number	Drawing Number	
16050	TP05	
Date	Scale	Amendment
16.10.2017	1:200	A
Drawn	Checked	
Dai	AL/JW	



REYNOLDS ROAD

ANDERSONS CREEK ROAD



Development Summary:

Total Site Area	2966.6 m ²
Total Ground Floor Area	1145.5 m ²
Total Driveway & visitor parking Area	728.6 m ²
Total Site Coverage	1675.5m ² (56.5%)
Total Garden Area Percentage	1039.9 m ² (35.05%)
Total Permeable Area Percentage	769.0 m ² (25.92%)
Proposed Dwelling No	22
Total car parking spaces for dwelling	41
Total visitor car parking spaces	4

TERRACE 1		TERRACE 2	
Ground Floor Area	52.7m ²	Ground Floor Area	53.5m ²
First Floor Area	62.2m ²	First Floor Area	56.0m ²
Second Floor Area	62.2m ²	Second Floor Area	42.5m ²
Total Floor Area	177.1m ²	Total Floor Area	152.0m ²
Balcony Area	17m ²	Balcony Area	15m ²
No. of Bed:	3	No. of Bed:	2
No. of CarSpace:	2	No. of CarSpace:	1
Storage	6m ³	Storage	6m ³

TERRACE 3,4,5		TERRACE 6	
Ground Floor Area	67.4m ²	Ground Floor Area	68.6m ²
First Floor Area	71.2m ²	First Floor Area	71.0m ²
Second Floor Area	52.9m ²	Second Floor Area	53.1m ²
Total Floor Area	191.5m ²	Total Floor Area	192.7m ²
Balcony Area	14m ²	Balcony Area	15m ²
No. of Bed:	3	No. of Bed:	4
No. of CarSpace:	2	No. of CarSpace:	2
Storage	6m ³	Storage	6m ³

TERRACE 7		TERRACE 8	
Ground Floor Area	51.0m ²	Ground Floor Area	40.4m ²
First Floor Area	49.5m ²	First Floor Area	38.0m ²
Second Floor Area	55.0m ²	Second Floor Area	40.8m ²
Total Floor Area	155.5m ²	Total Floor Area	119.2m ²
Balcony Area	17m ²	Balcony Area	10m ²
No. of Bed:	3	No. of Bed:	2
No. of CarSpace:	2	No. of CarSpace:	1
Storage	8m ³	Storage	8m ³

TERRACE 9,10,11		TERRACE 12	
Ground Floor Area	50.1m ²	Ground Floor Area	41.2m ²
First Floor Area	53.3m ²	First Floor Area	38.2m ²
Second Floor Area	54.9m ²	Second Floor Area	43.3m ²
Total Floor Area	158.3m ²	Total Floor Area	122.7m ²
Balcony Area	10m ²	Balcony Area	10m ²
No. of Bed:	3	No. of Bed:	2
No. of CarSpace:	2	No. of CarSpace:	1
Storage	8m ³	Storage	8m ³

TERRACE 13		TERRACE 14,15,16	
Ground Floor Area	47.2m ²	Ground Floor Area	46.4m ²
First Floor Area	60.8m ²	First Floor Area	58.5m ²
Second Floor Area	50.8m ²	Second Floor Area	43.8m ²
Total Floor Area	158.8m ²	Total Floor Area	148.7m ²
Balcony Area	10m ²	Balcony Area	10m ²
No. of Bed:	3	No. of Bed:	3
No. of CarSpace:	2	No. of CarSpace:	2
Storage	6m ³	Storage	6m ³

TERRACE 17		TERRACE 18	
Ground Floor Area	47.2m ²	Ground Floor Area	50.3m ²
First Floor Area	58.7m ²	First Floor Area	64.3m ²
Second Floor Area	45.0m ²	Second Floor Area	59.5m ²
Total Floor Area	150.9m ²	Total Floor Area	174.1m ²
Balcony Area	12m ²	Balcony Area	11m ²
No. of Bed:	3	No. of Bed:	3
No. of CarSpace:	2	No. of CarSpace:	2
Storage	6m ³	Storage	6m ³

TERRACE 19,20,21		TERRACE 22	
Ground Floor Area	42.6m ²	Ground Floor Area	43.8m ²
First Floor Area	62.8m ²	First Floor Area	63.1m ²
Second Floor Area	55.9m ²	Second Floor Area	53.1m ²
Total Floor Area	161.3m ²	Total Floor Area	160.0m ²
Balcony Area	10m ²	Balcony Area	12m ²
No. of Bed:	3	No. of Bed:	3
No. of CarSpace:	2	No. of CarSpace:	2
Storage	8m ³	Storage	8m ³

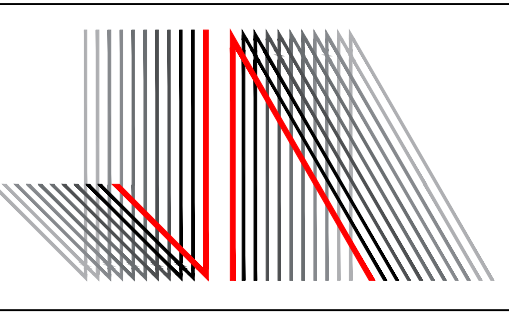
LEGEND

	DENOTES TREE IDENTIFICATION NUMBER MENTIONED IN ARBORIST REPORT		DENOTES LAWN, GARDEN BED AND EXTERNAL PERVIOUSLY SOFTSCAPED AREAS.		DENOTES 6 CUBIC METRES OF STORAGE SHED
	DENOTES TREE PROTECTION ZONE & STRUCTURE RISK ZONE		DENOTES SELECTED CONCRETE DRIVEWAY		DENOTES SELECTED CLOTHESLINE LOCATION
	DENOTES AREA OF STRUCTURE ENCRGACH INTO THE TREE PROTECTION ZONE		DENOTES SELECTED EXPOSED AGGREGATE CONCRETE DRIVEWAY		DENOTES SELECTED MAIL BOX LOCATION
	DENOTES EXISTING TREES OR SHRUBS TO BE REMOVED		DENOTES SELECTED PAVED AREA TO BE LAND ON FORDUS COMPACTED SAND BASE		DENOTES SELECTED ELECTRICITY METER BOX LOCATION
	DENOTES PROPOSED INDIGENOUS CANOPY TREE		DENOTES WEATHERPROOFED TILED AREA		DENOTES SELECTED 2000 LITERS SLINE RAINWATER TANK
	DENOTES PROPOSED SHRUBS & SMALL SCALE PLANTS		DENOTES SELECTED DECKING AREA		DENOTES SELECTED AIR CONDITIONING UNIT LOCATION
			DENOTES SELECTED STEPPING STONES		DENOTES BICYCLE SUPPORT SYSRTEM 2.2M CLEARANCE OVER CAR PARKING AREA

SITE LAYOUT PLAN
SCALE 1:200 @ A1

Notes

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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	SITE LAYOUT PLAN

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT

Project Number	16050	Drawing Number	TP07
Date	16.10.2017	Scale	1:200
Drawn	Dai	Checked	AL/JW
		Amendment	A

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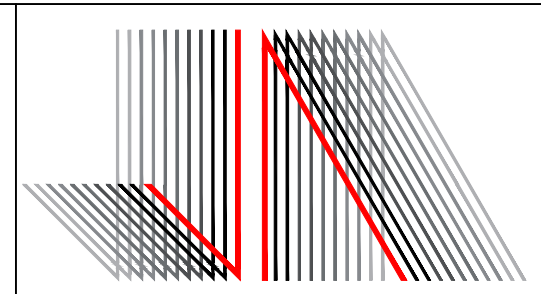


GROUND FLOOR PLAN (T1-T12)
SCALE 1:100 @ A1

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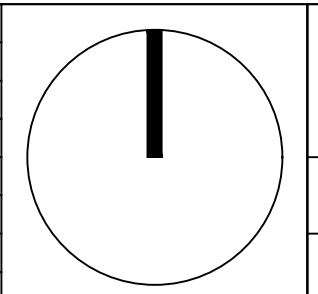


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136-140 Andersons Creek Road, Doncaster East

Drawing
GROUND FLOOR PLAN (T1-T12)

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



Project Number	16050	Drawing Number	TPO8
Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
		Amendment	A

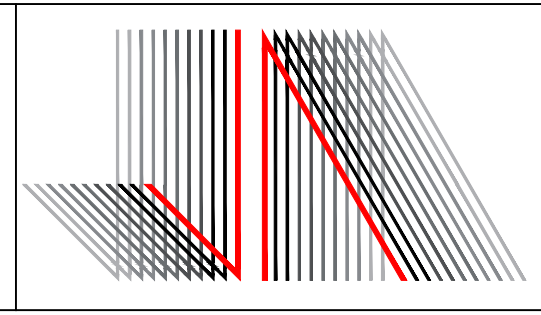
ANDERSONS CREEK



GROUND FLOOR PLAN (T13-T22)
SCALE 1:100 @ A1

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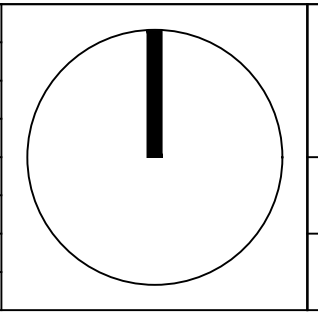
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Drawing
GROUND FLOOR PLAN (T13-T22)

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



Project Number	16050		Drawing Number	TP09
Date	16.10.2017	Scale	1:100	Amendment
Drawn	Dai	Checked	AL/JW	A

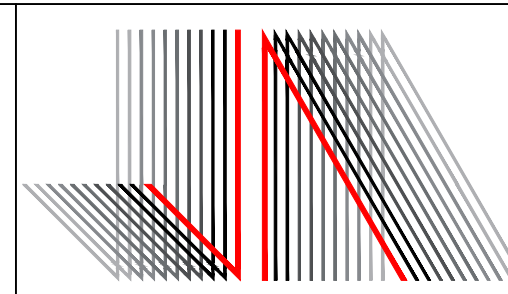


FIRST FLOOR PLAN (T1-T12)
SCALE 1:150 @ A1

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16.10.2017

Notes

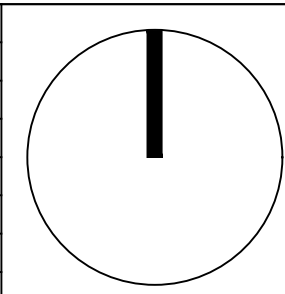
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Drawing	FIRST FLOOR PLAN (T1-T12)

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



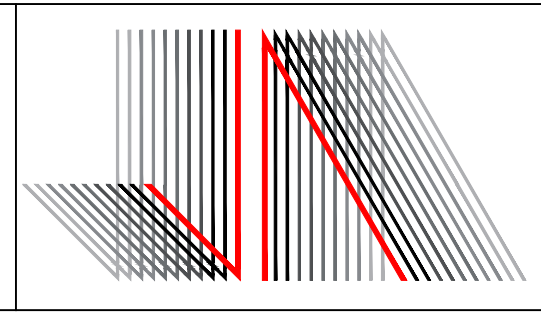
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Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
			Amendment
			A



FIRST FLOOR PLAN (T13-T22)
SCALE 1:150 @ A1

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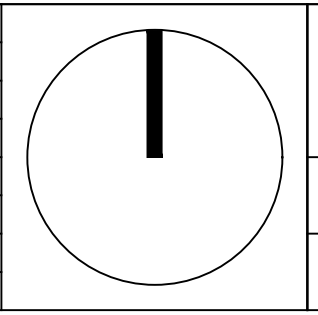
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FIRST FLOOR PLAN (T13-T22)

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



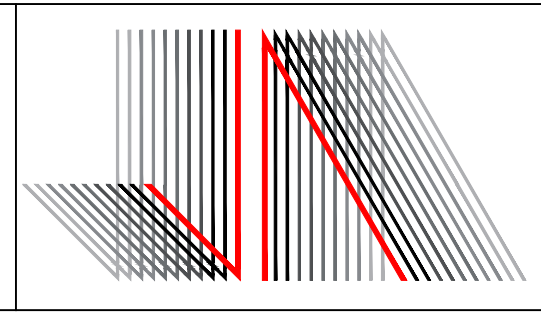
Project Number 16050		Drawing Number TP11	
Date 16.10.2017	Scale 1:100	Amendment A	
Drawn Dai	Checked AL/JW		



SECOND FLOOR PLAN (T1-T12)
SCALE 1:100 @ A1

ISSUE FOR RFI
16.10.2017

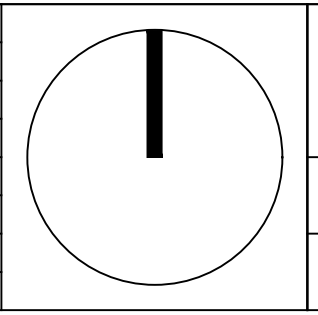
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ABN: 29 469 352 797

Project	136-140 Andersons Creek Road, Doncaster East
Drawing	SECOND FLOOR PLAN (T1-T12)

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



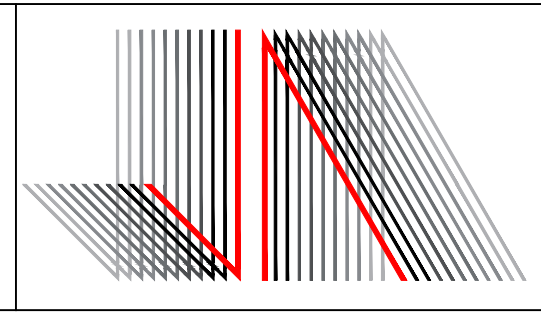
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Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
			Amendment
			A



SECOND FLOOR PLAN (T13-T22)
SCALE 1:100 @ A1

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16.10.2017

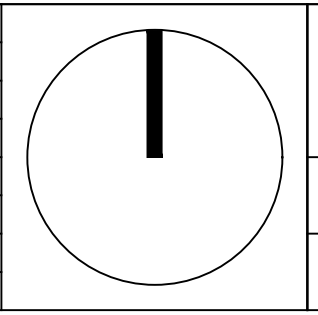
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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	SECOND FLOOR PLAN (T13-T22)

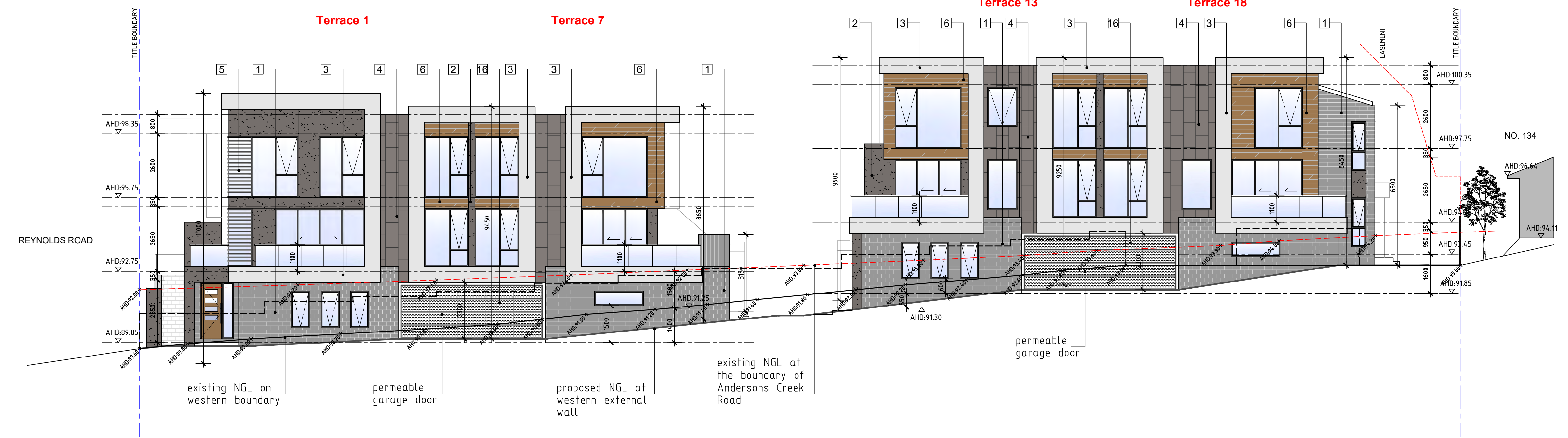
Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



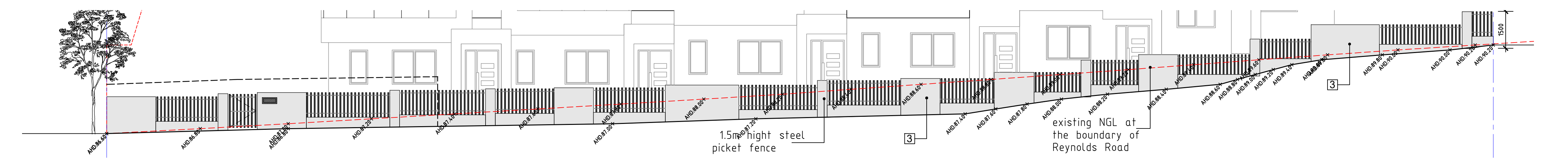
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Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
			Amendment
			A



NORTH ELEVATION
SCALE 1:100 @ A1



WEST ELEVATION
SCALE 1:100 @ A1



NORTH FENCE ELEVATION
SCALE 1:100 @ A1

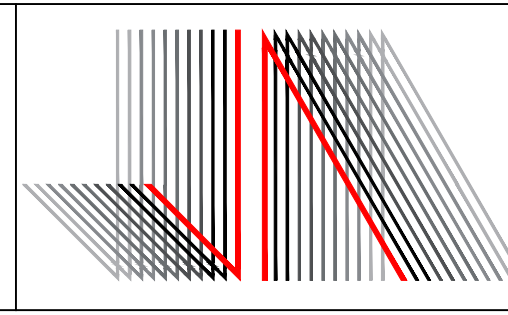
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	2 SELECTED RENDER 1- DARK GREY
	3 SELECTED RENDER 2- LIGHT GREY
	4 METAL CLADDING 1- DARK GREY
	5 CHARCOAL COLOR ALUMINIUM LOUVRES
	6 WOODGRAIN FEATURE PANELS
	7 FIXED OBSCURE GLAZING NOT MORE THAN 25% TRANSPARENT AS PER STANDARD B22
	8 CLEAR GLAZING
	9 TIMBER LOOKING ALUMINIUM LOUVRES
	10 COLORBOND® CHARCOAL COLOR METAL PANELS OR SIMILAR
	11 TIMBER LOOKING GARAGE DOOR
	12 SELECTED CONCRETE PAVER
	13 ALUMINIUM FIXED/AWNING WINDOW FRAME CHARCOAL COLOR
	14 COLORED CONCRETE DRIVEWAY
	15 SELECTED METAL ROOFING
	16 PERMEABLE GARAGE DOOR

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Notes

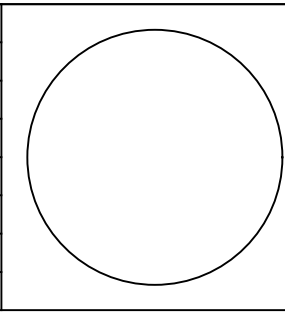
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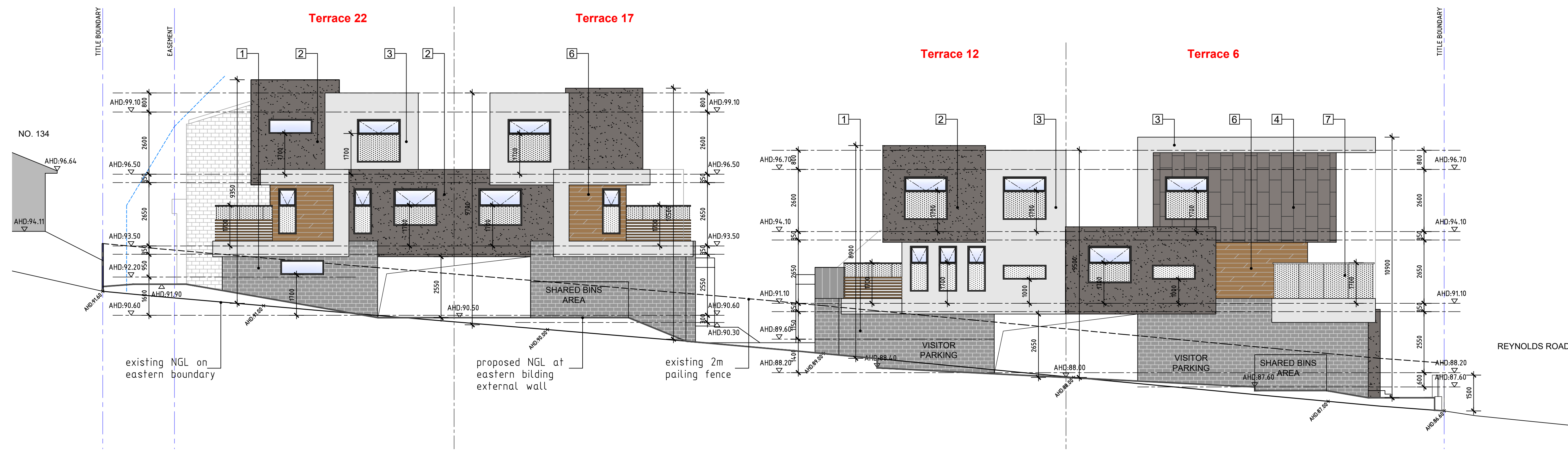
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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	ELEVATIONS(01)

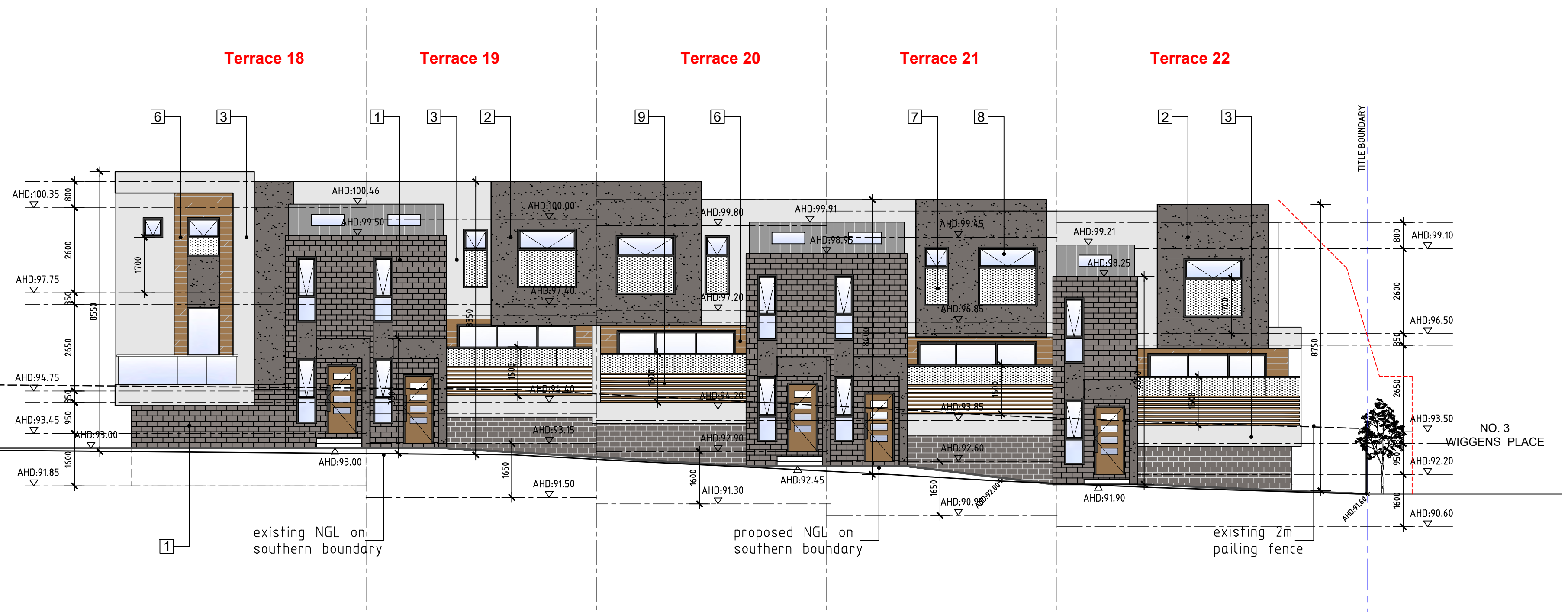
Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



Project Number	16050	Drawing Number	TP15
Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
		Amendment	A



EAST ELEVATION
SCALE 1:100 @ A1



SOUTH ELEVATION
SCALE 1:100 @ A1



WEST FENCE ELEVATION
SCALE 1:100 @ A1

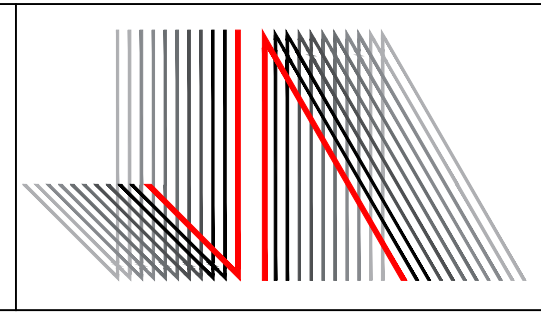
MATERIAL SCHEDULE:

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	16 PERMEABLE GARAGE DOOR

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Notes

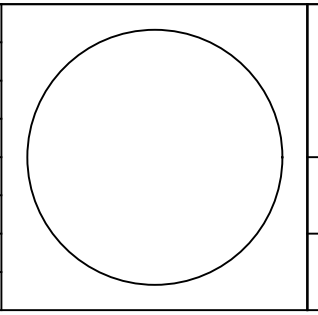
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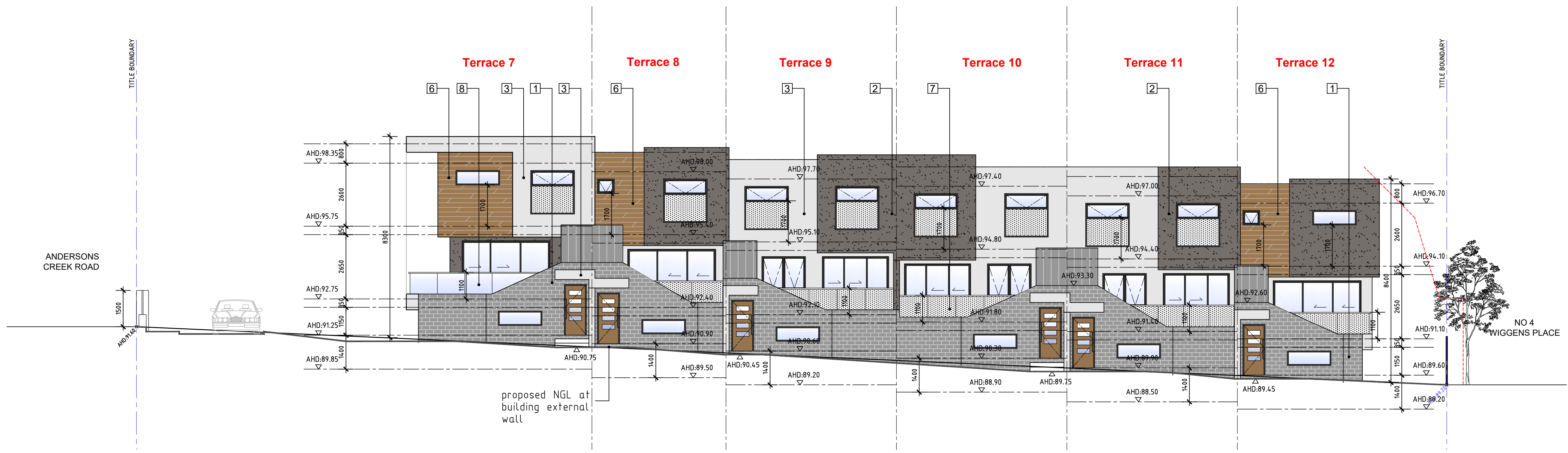
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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	ELEVATIONS(02)

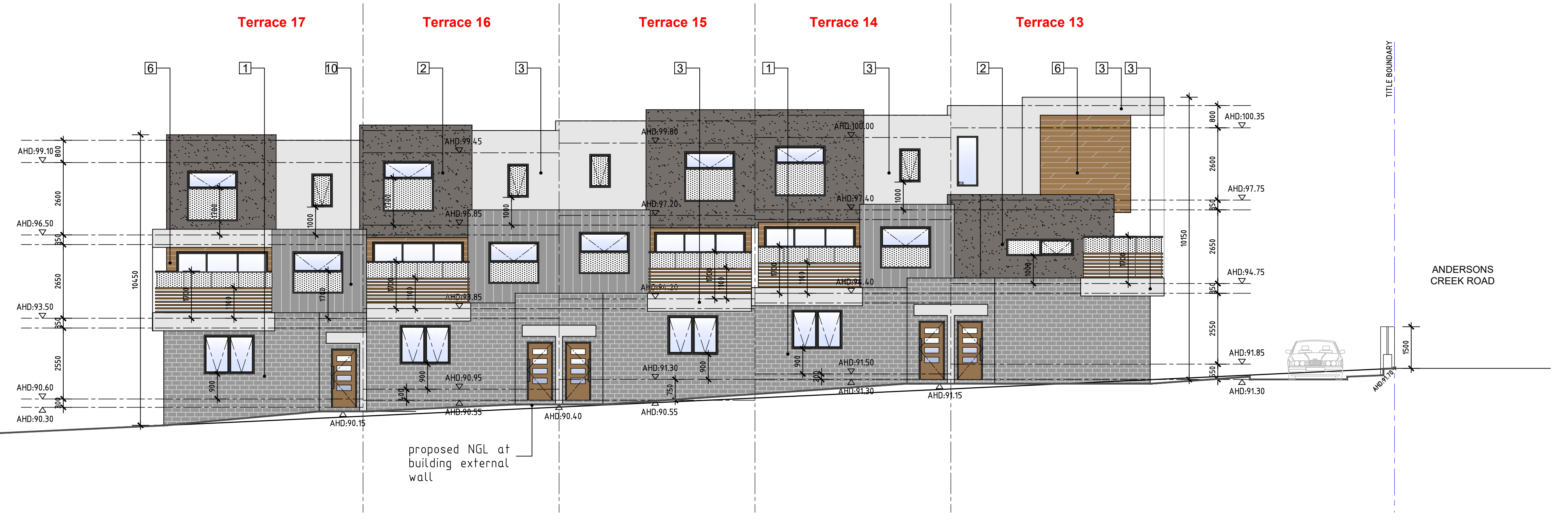
Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



Project Number	16050	Drawing Number	TP16
Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
		Amendment	A



ELEVATION 1-1
SCALE 1:100 @ A1



ELEVATION 2-2
SCALE 1:100 @ A1

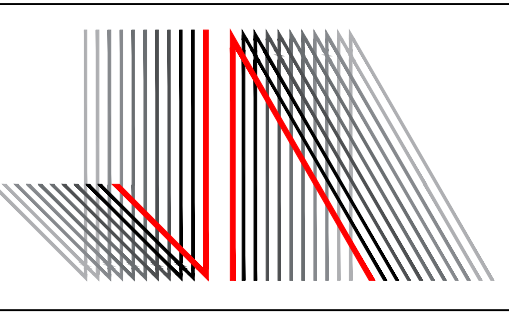
MATERIAL SCHEDULE:

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	16 PERMEABLE GARAGE DOOR

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Notes

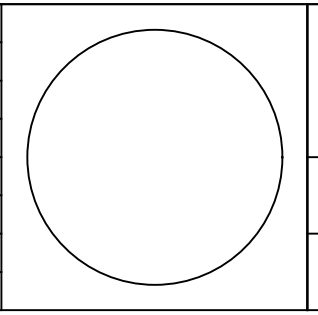
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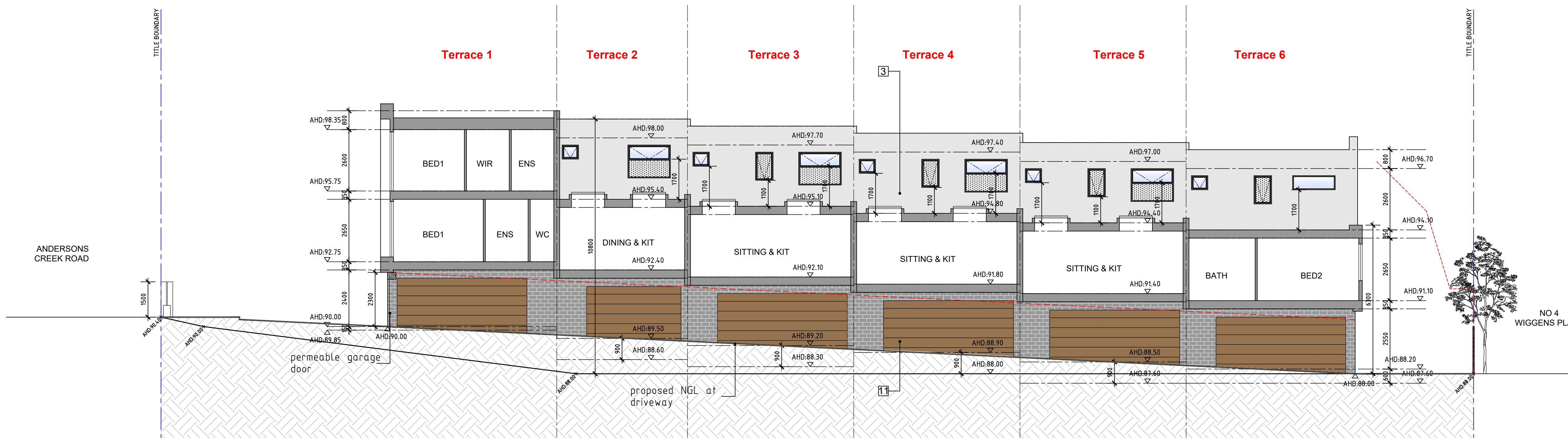
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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	ELEVATIONS(03)

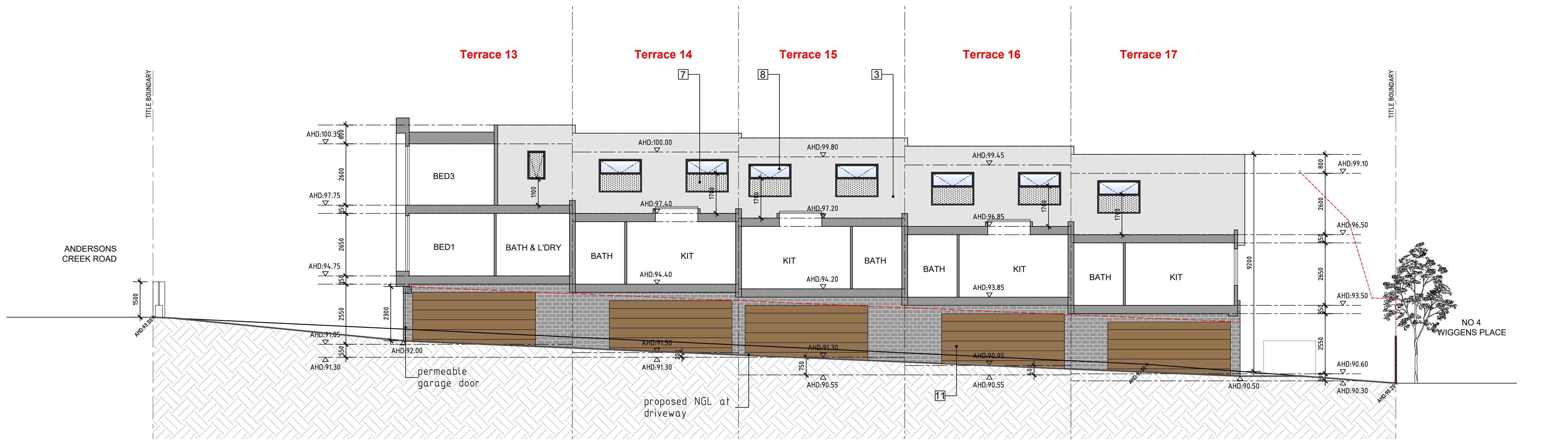
Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



Project Number	16050	Drawing Number	TP17
Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
		Amendment	A



SECTION 1-1
SCALE 1:100 @ A1



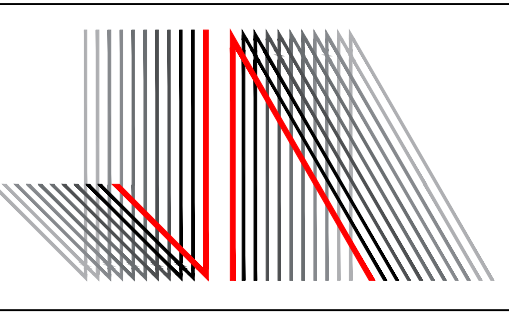
SECTION 2-2
SCALE 1:100 @ A1

MATERIAL SCHEDULE:

	1 SELECTED FACED BRICK
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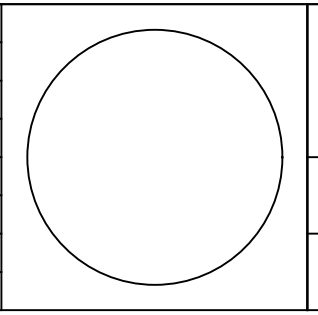
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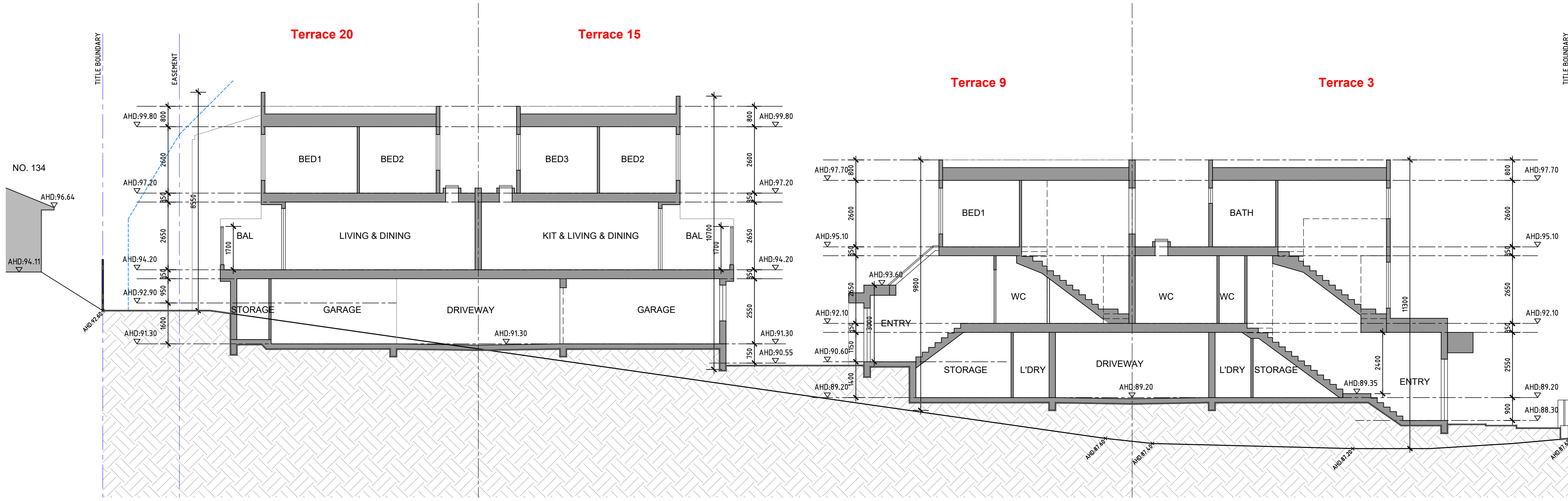
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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	SECTIONS(01)

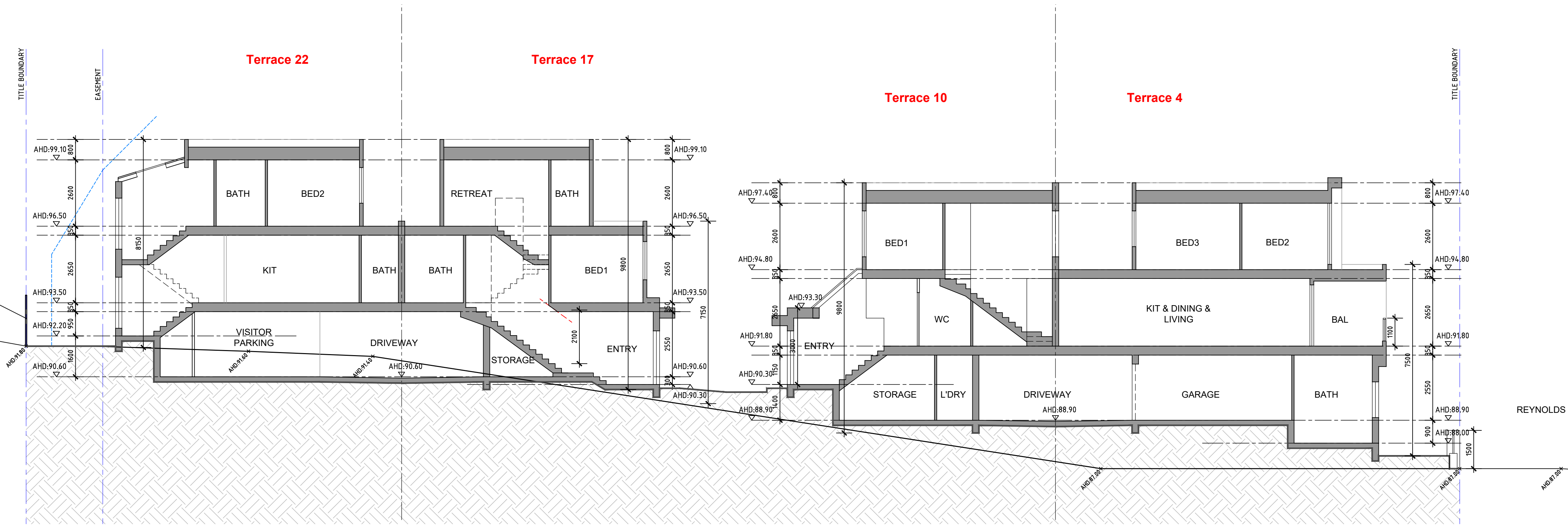
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Project Number	16050	Drawing Number	TP18
Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
			Amendment
			A



SECTION 3-3
SCALE 1:100 @ A1



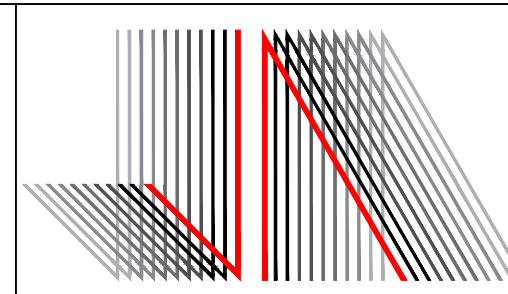
SECTION 4-4
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MATERIAL SCHEDULE:

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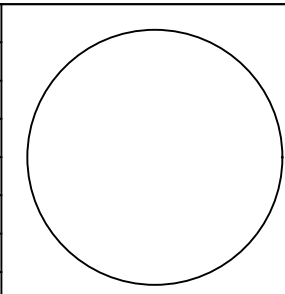
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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	SECTIONS(02)

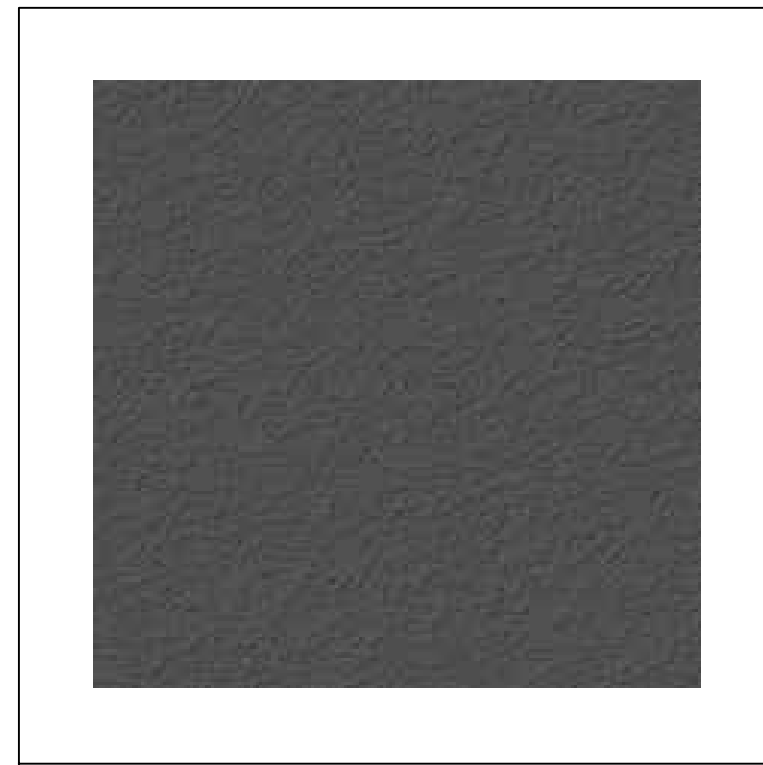
Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



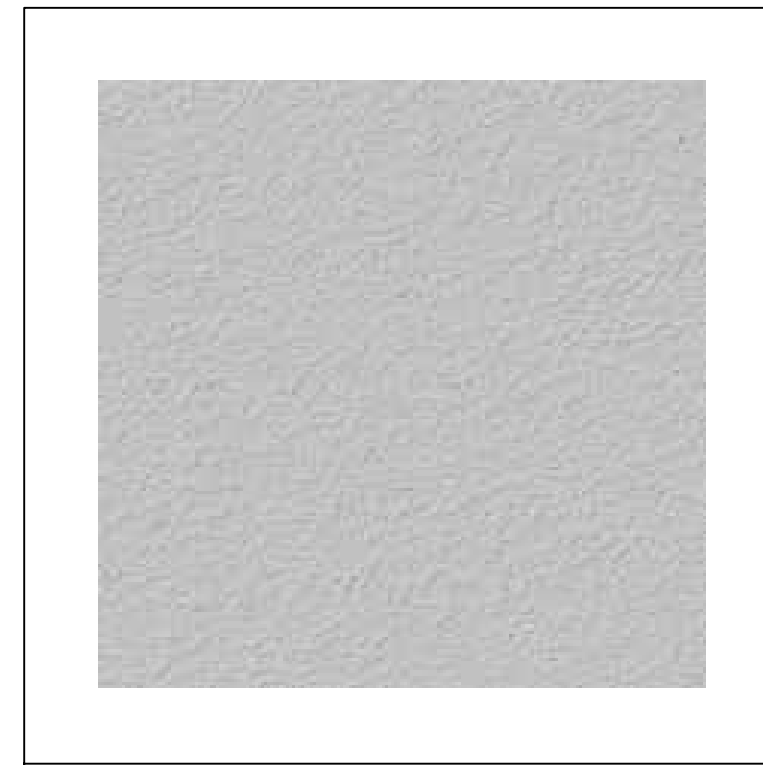
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Date	16.10.2017	Scale	1:100
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		Amendment	A



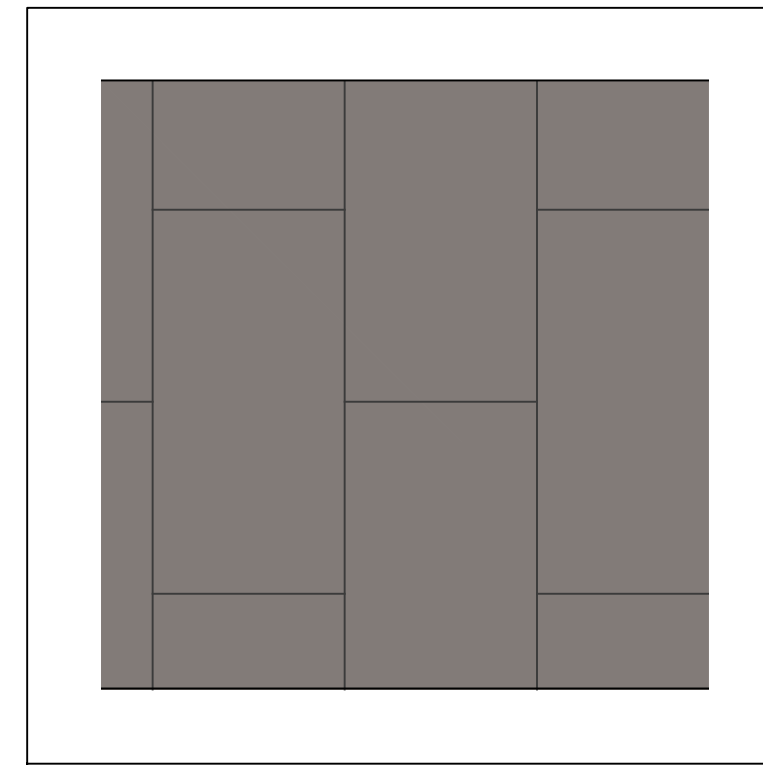
MATERIAL 1:
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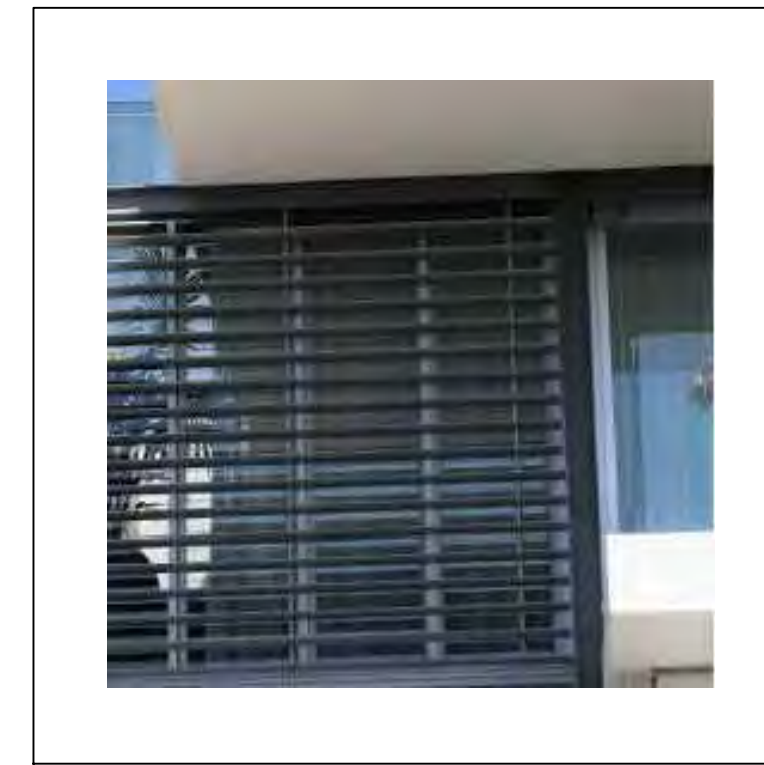
MATERIAL 2:
SELECTED RENDER1-DARK GREY



MATERIAL 3:
SELECTED RENDER1-LIGHT GREY



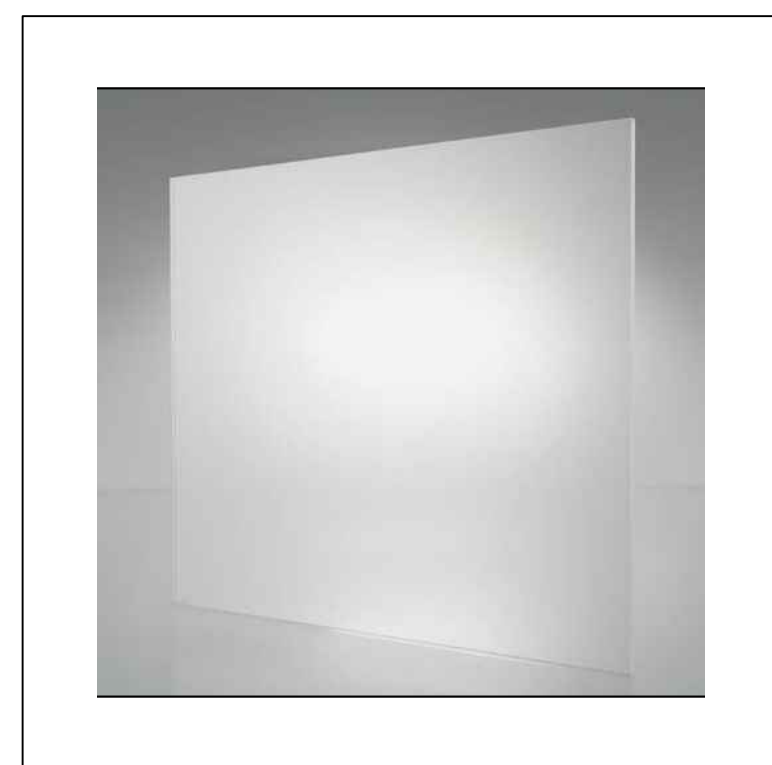
MATERIAL 4:
METAL CLADDING 1-DARK GREY



MATERIAL 5:
CHARCOAL COLOR ALUMINIUM LOUVRES



MATERIAL 6:
WOODGRAIN FEATURE PANELS



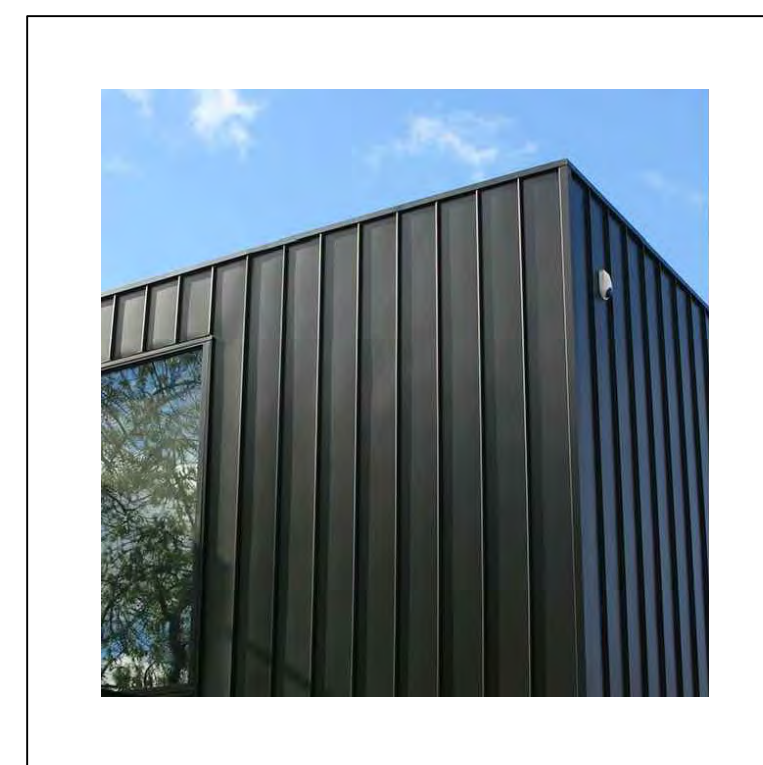
MATERIAL 7:
FIXED OBSCURE GLAZING NOT MORE THAN 25 % TRANSPARENT AS PER STANDARD B22



MATERIAL 8:
CLEAR GLAZING



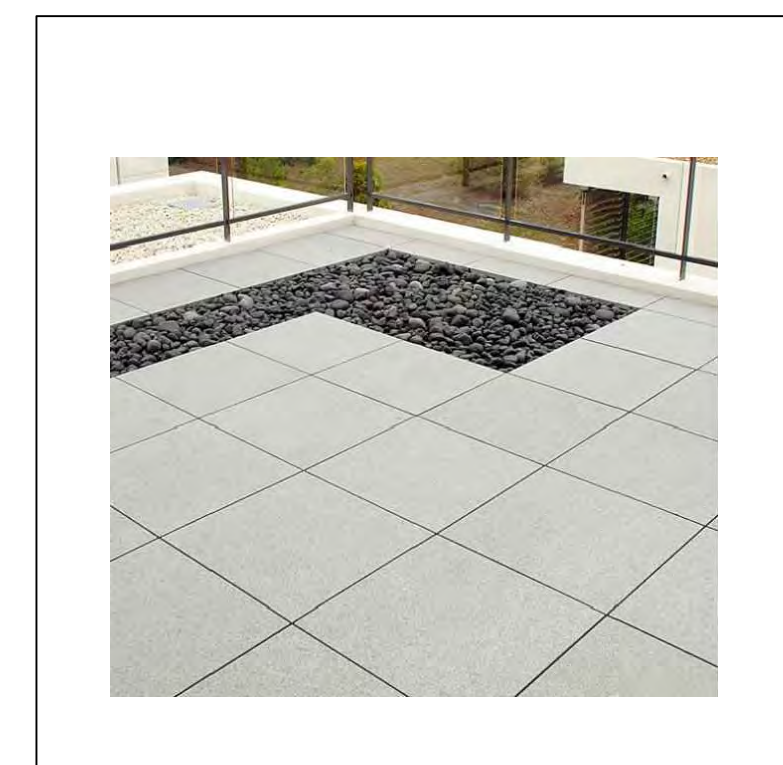
MATERIAL 9:
TIMBER LOOKING ALUMINIUM LOUVRES



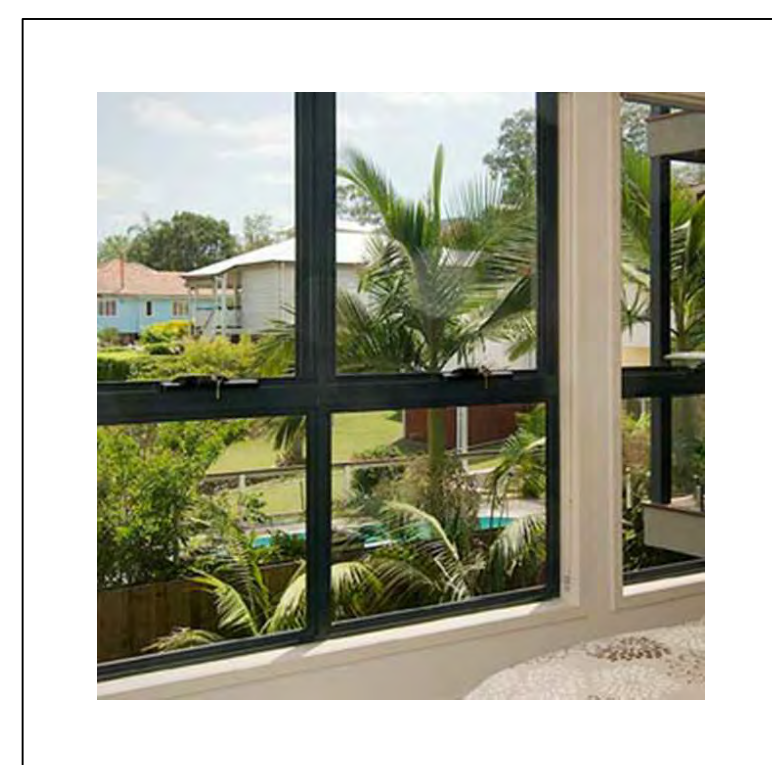
MATERIAL 10:
COLORBOND® CHARCOAL COLOR METAL PANELS OR SIMILAR



MATERIAL 11:
TIMBER LOOKING GARAGE DOOR



MATERIAL 12:
SELECTED CONCRETE PAVER



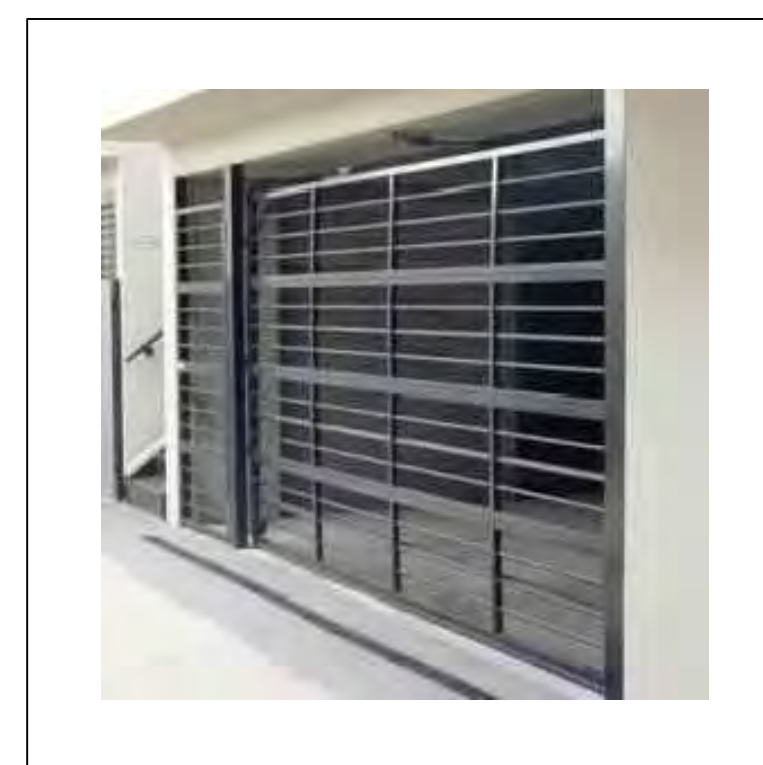
MATERIAL 13:
ALUMINUM FIXED/AWNING WINDOW FRAME CHARCOAL COLOR



MATERIAL 14:
COLORED CONCRETE DRIVEWAY



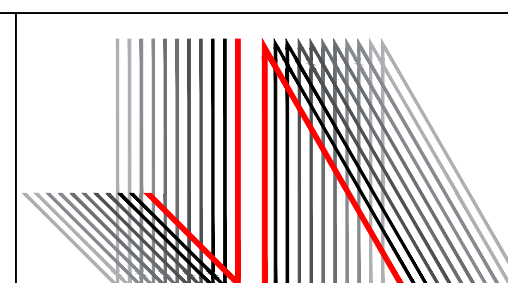
MATERIAL 15:
SELECTED METAL ROOFING



MATERIAL 16:
PERMEABLE GARAGE DOOR

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16.10.2017

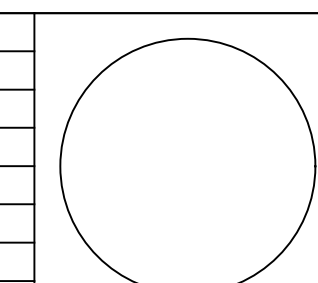
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Project	136-140 Andersons Creek Road, Doncaster East
Drawing	MATERIAL SCHEDULE

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT

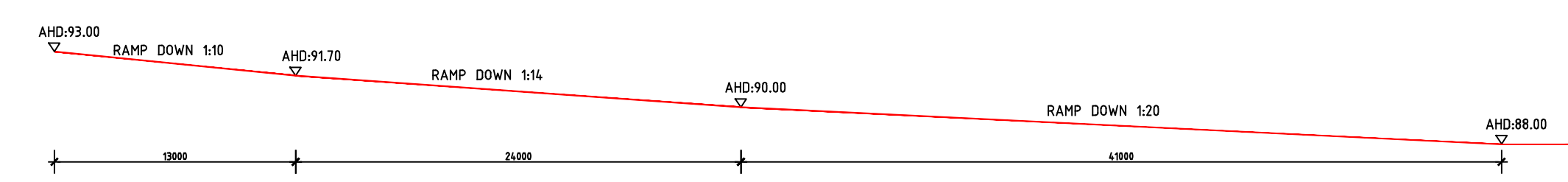


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Date 16.10.2017	Scale	Amendment A	
Drawn Dai	Checked AL/JW		

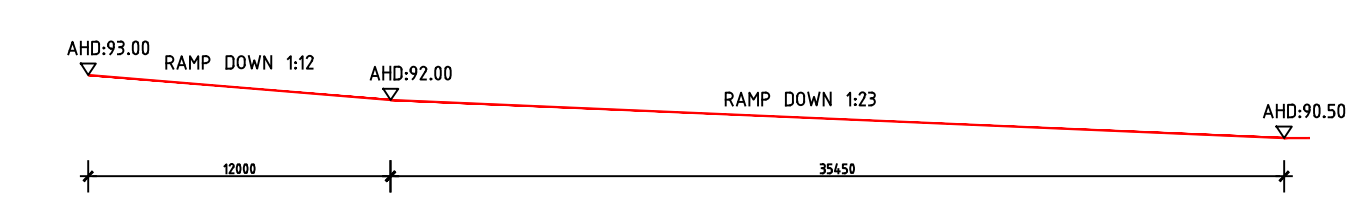


GARDEN AREA SITE PLAN
SCALE 1:300 @ A1

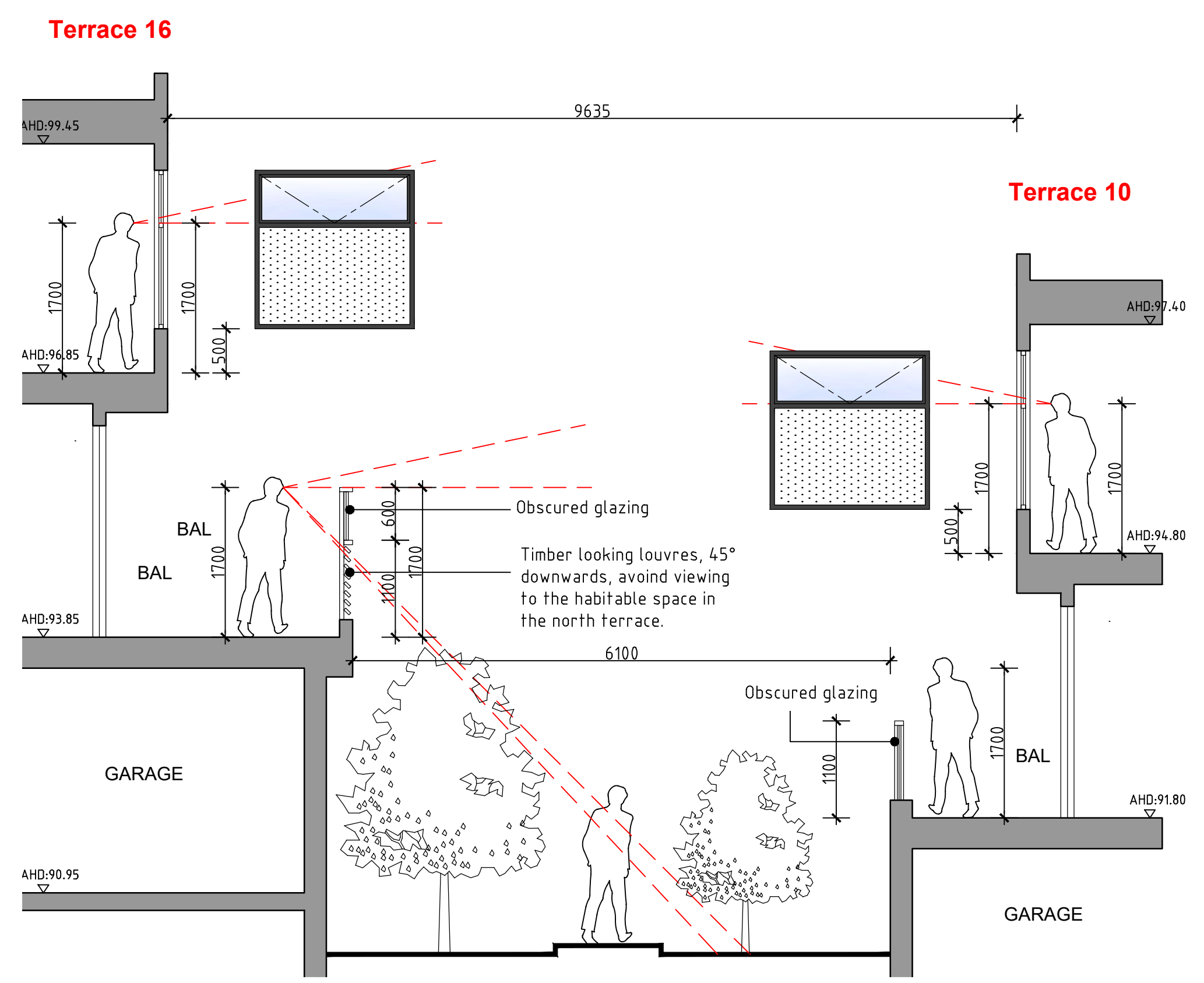
TOTAL GARDEN AREA
1039.9 m² (35.05%)



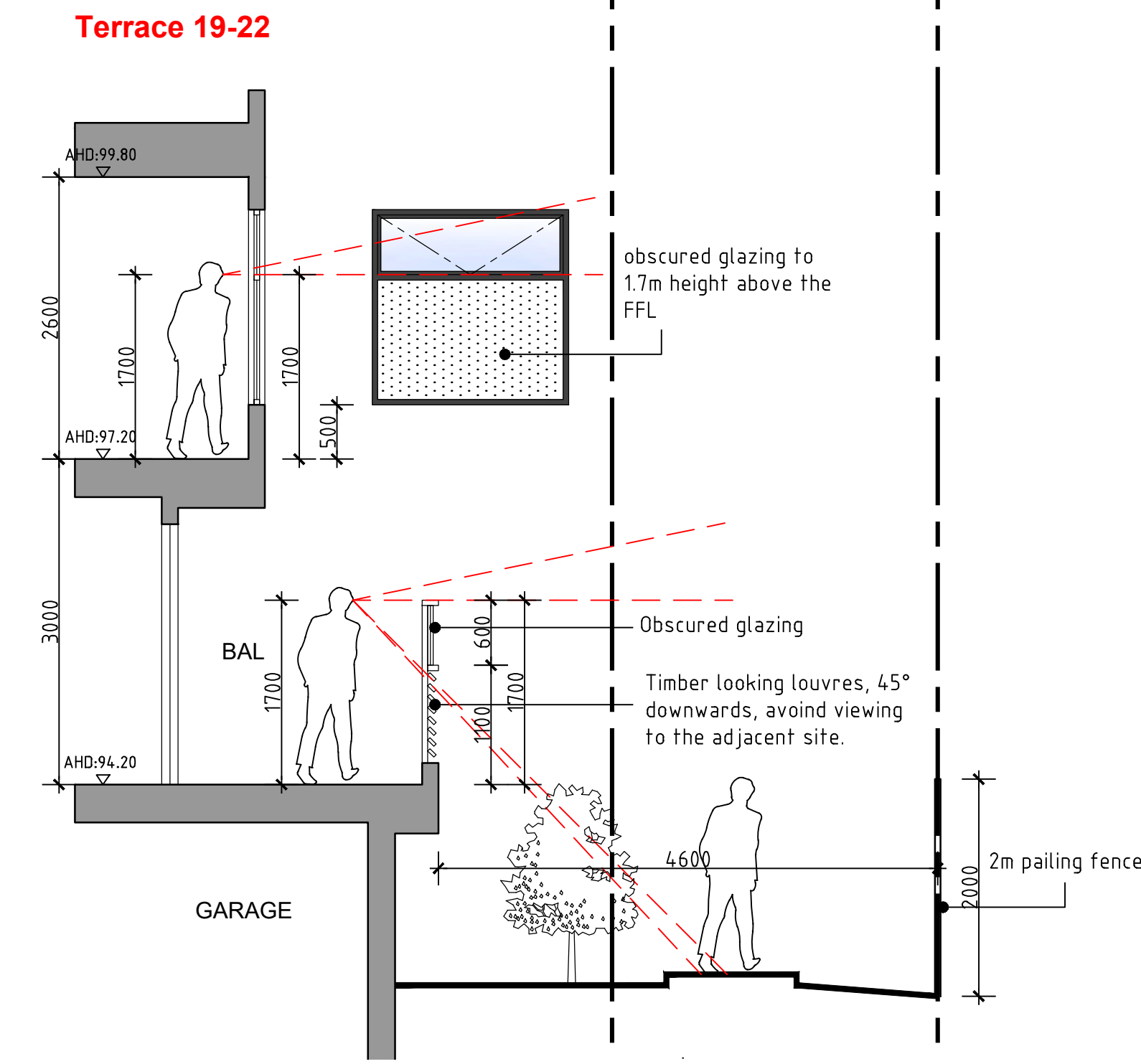
DRIVEWAY SECTION 1-1
SCALE 1:300 @ A1



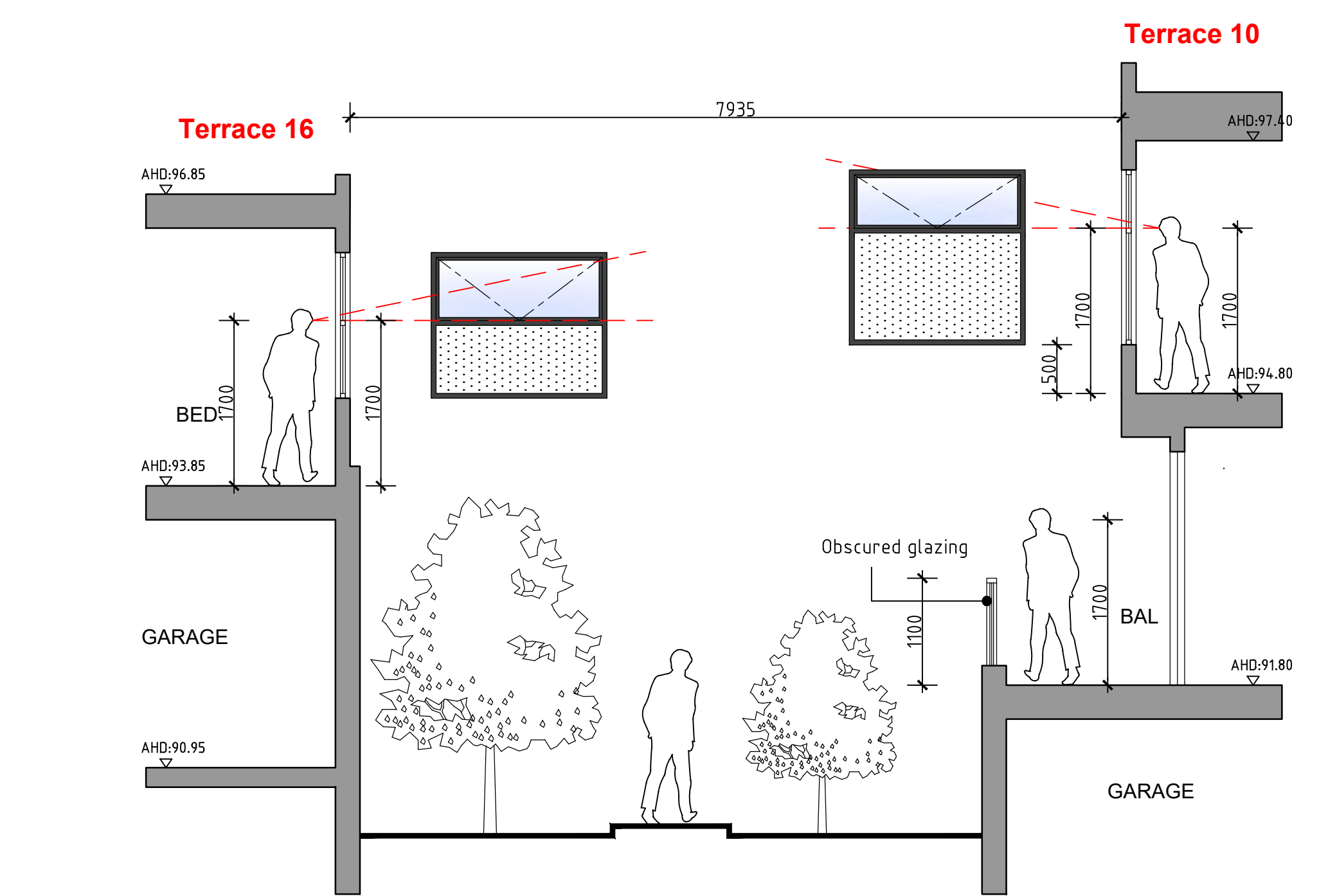
DRIVEWAY SECTION 2-2
SCALE 1:300 @ A1



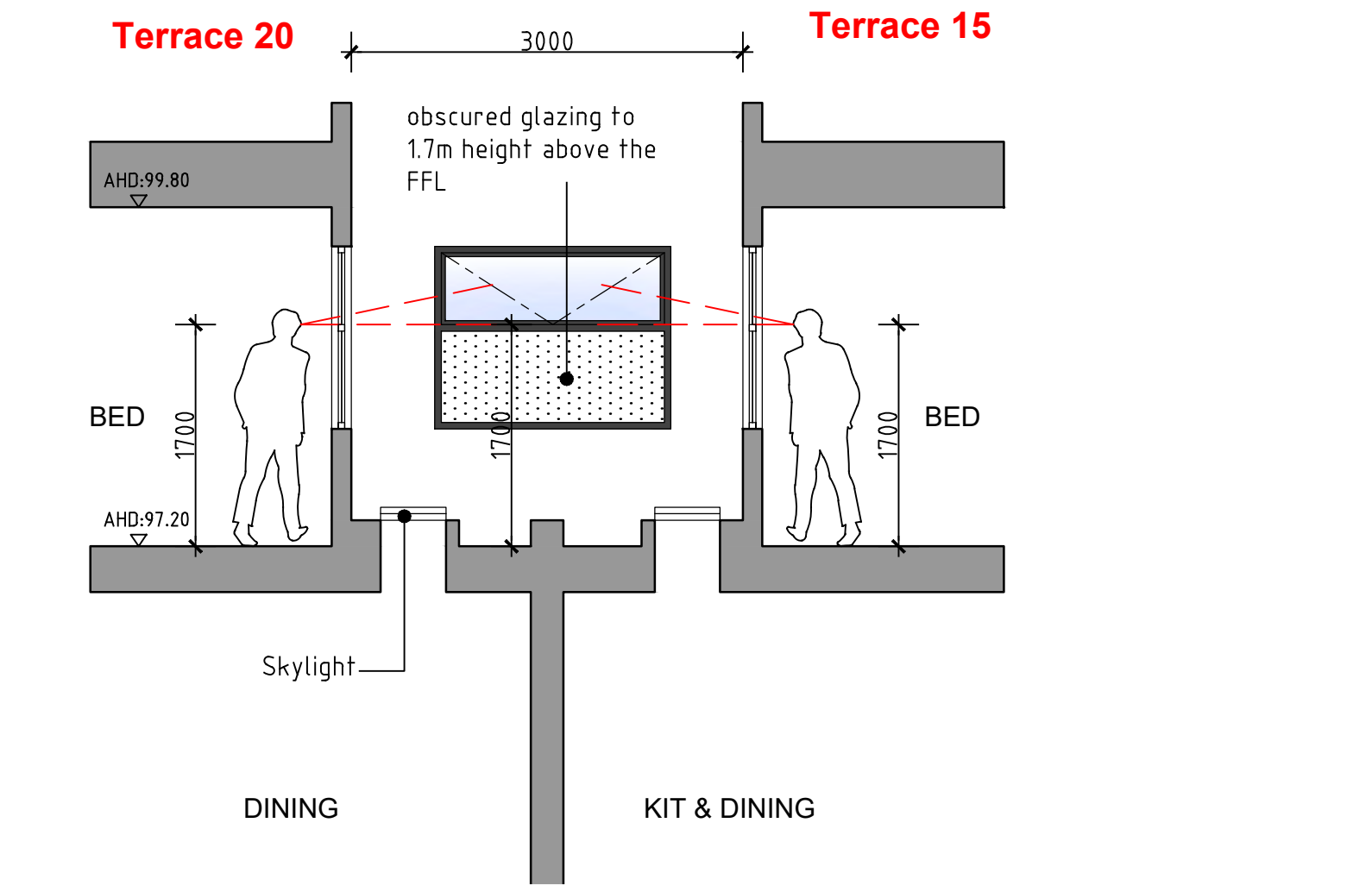
SIGHT ANALYZE 1 (Terrace 7-17)
SCALE 1:50 @ A1



SIGHT ANALYZE 3 (Terrace 19-22)
SCALE 1:50 @ A1

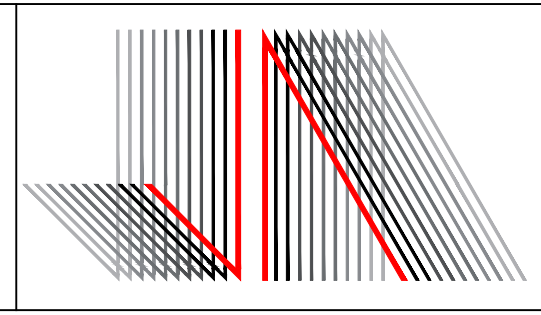


SIGHT ANALYZE 2 (Terrace 7-17)
SCALE 1:50 @ A1



TYPICAL LIGHTCOURT SIGHT ANALYZE 4
SCALE 1:50 @ A1

Notes
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- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, HYDRAULIC, LANDSCAPE ARCHITECTURAL DRAWINGS.
- LOCATION OF ALL HARDWARE, FIXTURES AND FITTINGS TO BE CONFIRMED WITH ARCHITECT PRIOR TO WORKS COMMENCING.



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ABN: 29 469 352 797

Project	136-140 Andersons Creek Road, Doncaster East
Drawing	GARDEN AREA SITE PLAN & DETAILS

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT

Project Number	16050	Drawing Number	TP21
Date	16.10.2017	Scale	1:100
Drawn	Dai	Checked	AL/JW
		Amendment	A

ISSUE FOR RFI
16.10.2017

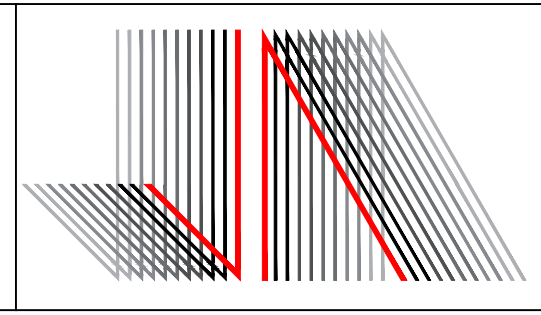


SHADOW DIAGRAM SEP 22 9AM
SCALE 1:200 @ A1

SHADOW DIAGRAM SEP 22 12PM
SCALE 1:200 @ A1

ISSUE FOR RFI
16.10.2017

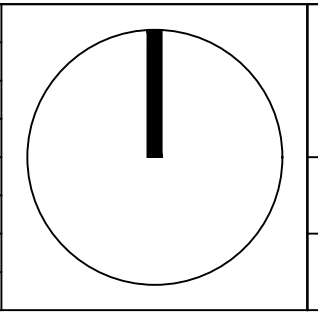
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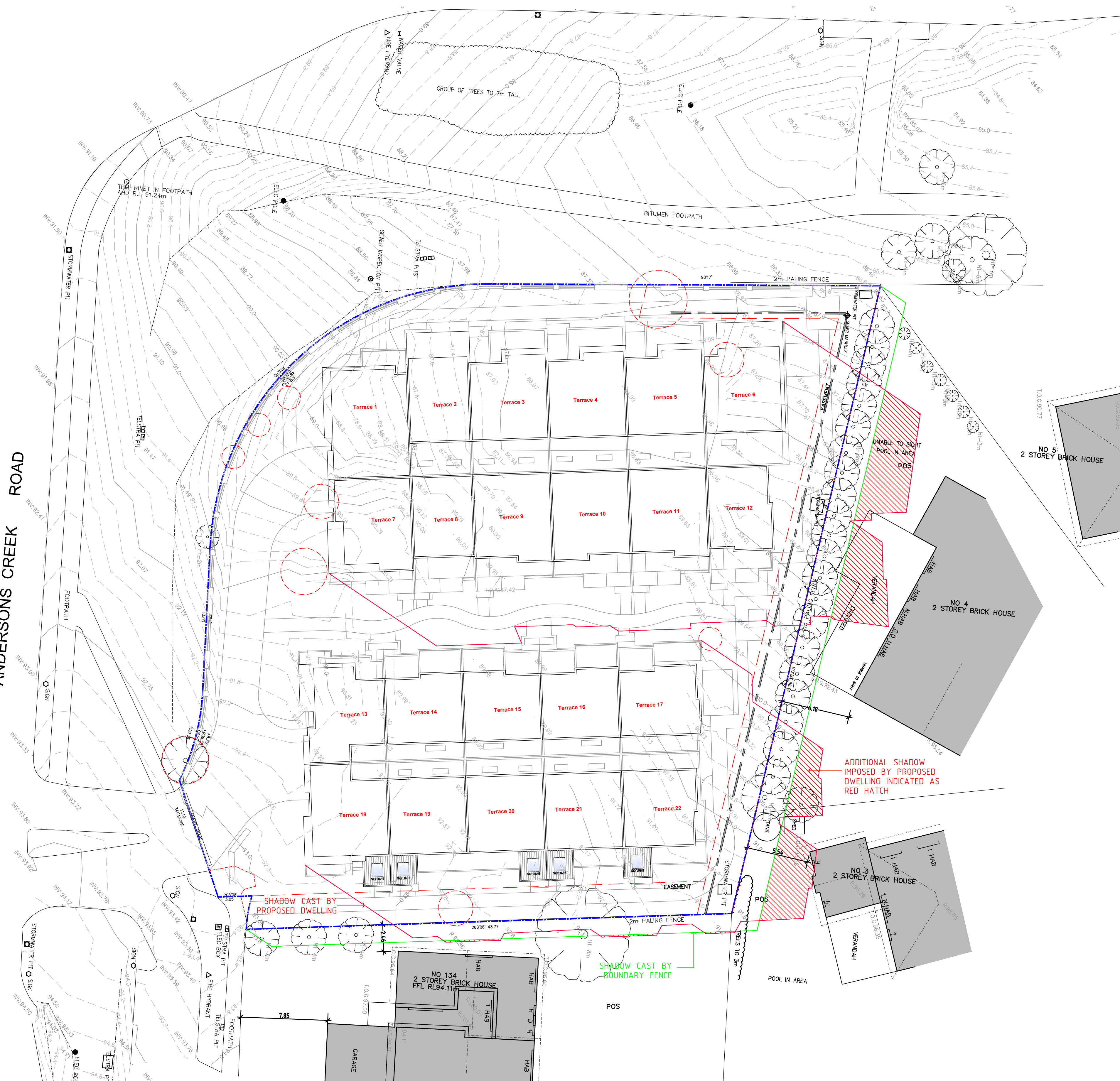
Project	136-140 Andersons Creek Road, Doncaster East
Drawing	SHADOWS(01)

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



Project Number	16050	Drawing Number	TP22
Date	16.10.2017	Scale	1:200
Drawn	Dai	Checked	AL/JW
		Amendment	A

ANDERSONS CREEK ROAD

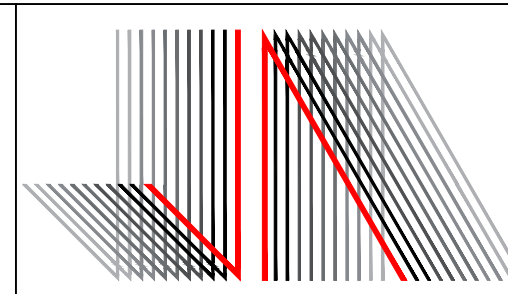


SHADOW DIAGRAM SEP 22 3PM

SCALE 1:200 @ A1

ISSUE FOR RFI
16.10.2017

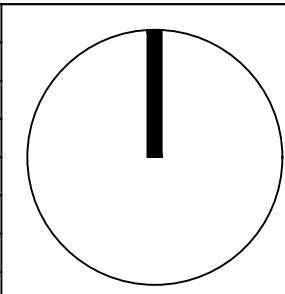
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Project
 136-140 Andersons Creek Road, Doncaster East
 Drawing
 SHADOWS(02)

Date	Rev	Description
16-10-2017	A	RFI AMENDMENT



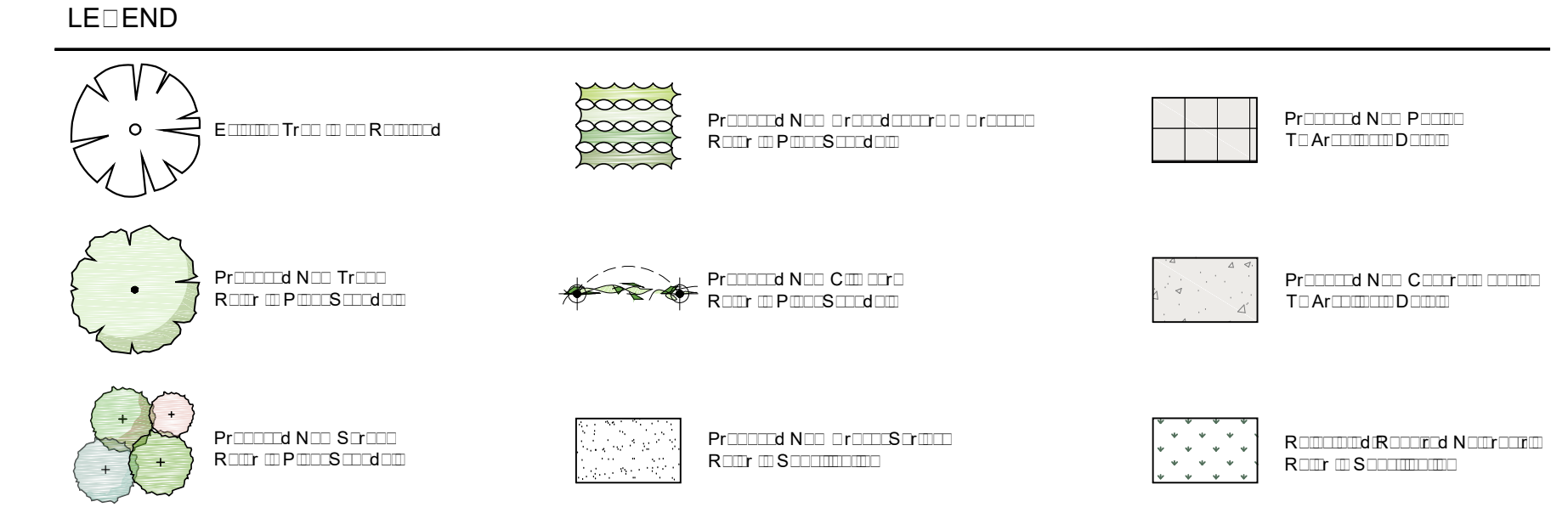
Project Number 16050		Drawing Number TP23	
Date 16.10.2017	Scale 1:200	Amendment A	
Drawn Dai	Checked AL/JW		



PLANTING SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	DE/NE*	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
TREES						
AN5	<i>Acer negundo</i> 'Sensation'	Sensation Box Elder	DE*	9 x 6m	20mm	2
BR	<i>Brachyglottis acuminata</i> x <i>populnea</i> 'Jeniberie Red'	Jeniberie Red Brachyglottis	EN	8 x 6m	20mm	2
ER	<i>Eleocharis reticulata</i>	Blueberry Ash	EN	10 x 5m	20mm	5
FR	<i>Hymenocarpus laurifolius</i>	Native Frangipani	EN	8 x 4m	20mm	6
FRFF	<i>Pyrus calleryana</i> 'Fronzani Frontier'	Fronzani Frontier Callery Pear	DE*	10 x 4m	20mm	6
OP	<i>Quercus palustris</i>	Pin Oak	DE*	14 x 6m	20mm	3
OPF	<i>Quercus palustris</i> 'Fringreen'	Fringreen Green Pin Oak	DE*	14 x 3m	20mm	3
SFS	<i>Syzygium floribundum</i> 'Sweetpea'	Sweetpea Weeping Lilly-pilly	EN	10 x 6m	20mm	7
TOTAL						34
SHRUBS						
AAM	<i>Azalea</i> 'Alba Magnifica'	White Azalea	EN*	1.2 x 1.2m	140mm pot	
CaC	<i>Correa alba</i> Compact Form	White Correa	EN	0.4 x 0.6m	140mm pot	
Go	<i>Groenlandia ovata</i>	Hop Goodenia	EN	1 x 1.5m	140mm pot	
HS	<i>Hydrangea serratifolia</i> 'Snowflake'	Double Oak-leaf Hydrangea	DE*	1.5-2.5 x 1.5m	200mm pot	
MM	<i>Murraya paniculata</i> 'Mona-rose'	Double Orange Jessamine	EN*	1 x 1m	140mm pot	
SaBC	<i>Syzygium australe</i> 'Bush Christmas'	Bush Christmas Lilly-pilly	EN	2.3 x 1.2m	200mm pot	
TOTAL						
GROUNDCOVERS & GRASSES						
DB	<i>Dianella caerulea</i> 'Breeze'	Breeze Paroo Lily	EN	0.7 x 0.7m	140mm pot	
AG	<i>Agapanthus</i> 'Gullfoyle'	Gullfoyle Agapanthus	EN*	0.8 x 0.8m	140mm pot	
EBBC	<i>Banksia spinulosa</i> 'Birthday Candles'	Birthday Candles Banksia	EN	0.5 x 0.75-0.9m	140mm pot	
NM	<i>Nerium oleander</i> 'Nerve'	Nerve Purple Coral Tree	EN	0.3-0.45 x 1.5m	140mm pot	
LT	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mat-rush	EN	0.50-0.6 x 0.65m	140mm pot	
LMW	<i>Liriodendron muscari</i> 'Monroe's White'	Monroe's White Lilly-turf	EN*	0.4 x 0.4m	140mm pot	
MWV	<i>Myoporum parvifolium</i> 'Yuna White'	Creeping Booibelle	EN	0.2 x 0.8m	140mm pot	
TOTAL						
CLIMBERS						
Fp	<i>Ficus pumila</i>	Climbing Fig	EN*	Self-clinging climber	140mm pot	
TOTAL						

*DE = Deciduous/Evergreen EN = Native/Exotic



SPECIFICATION NOTES

Soil Preparation
 All planting areas to be prepared to a minimum depth of 100mm. Soil to be amended with 10% compost or equivalent organic matter. Soil to be tested for pH and nutrient levels. Soil to be amended with appropriate fertiliser based on test results.

Mulch
 All planting areas to be mulched with a minimum depth of 50mm of organic mulch. Mulch to be applied to all planting areas, including under trees and shrubs. Mulch to be replaced as required.

Aggregate Gravel Surface
 All planting areas to be surfaced with a minimum depth of 100mm of aggregate gravel. Gravel to be applied to all planting areas, including under trees and shrubs. Gravel to be replaced as required.

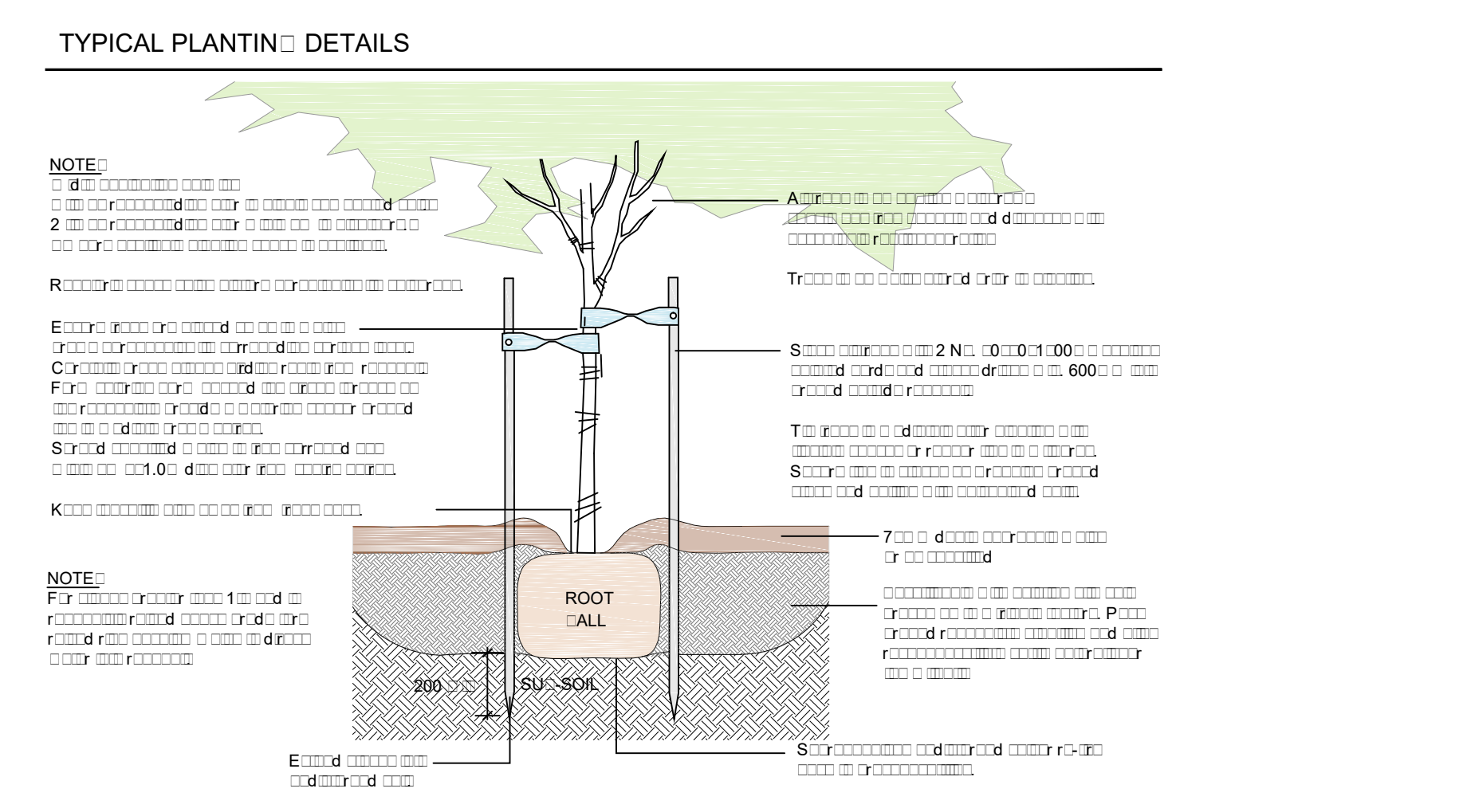
Timber Edges
 All planting areas to be edged with a minimum height of 100mm of timber. Timber to be applied to all planting areas, including under trees and shrubs. Timber to be replaced as required.

Weed Removal
 All planting areas to be cleared of weeds and other unwanted vegetation. Weeds to be removed to a minimum depth of 100mm. Weeds to be replaced as required.

Irrigation
 All planting areas to be irrigated with a minimum depth of 100mm of water. Irrigation to be applied to all planting areas, including under trees and shrubs. Irrigation to be replaced as required.

Repair/Restoration of damaged Nature-strips
 All planting areas to be repaired/restored to original condition. Repair/restoration to be applied to all planting areas, including under trees and shrubs. Repair/restoration to be replaced as required.

Plant Establishment Period
 All planting areas to be established for a minimum period of 12 months. Establishment to be applied to all planting areas, including under trees and shrubs. Establishment to be replaced as required.



5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received and which have not been withdrawn;*
- *Any decision and comments of a referral authority which it has received;*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development; and*
- *Any significant social effects and economic effects which the responsible authority considers the use or development may have.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.08 Residential Growth Zone, Schedule 3 (GRZ3)
- Clause 43.02 Design and Development Overlay, Schedule 9 (DD09)
- Clause 52.06 Car Parking
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

Zone

Clause 32.08 General Residential Zone, Schedule 3

The purpose of the General Residential Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot.

An assessment for buildings and works for two or more dwellings is required under the provisions of Clause 55 of the Manningham Planning Scheme.

The purpose of Clause 55 is generally to provide well designed dwellings with considered regard to internal amenity, while at the same time, maintaining the amenity and character of the locality, with particular emphasis on the amenity of adjoining residents.

Overlay

Clause 43.02 Schedule 9 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around The Pines Activity Centre.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support apartment style developments on larger lots which address the street frontage.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive.*
- *To implement the building form of The Pines Activity Centre Structure Plan 2011.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the associated building.*
- *To ensure the design of basement car parks complement the design of the building, minimises unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To provide built form and landscape outcomes that provide for a transition between the subject site and abutting residential properties.*

Permit Requirement

- A Planning Permit is required to construct a building or construct or carry out works under this overlay.

Building Height & Setbacks

- Development should comply with the preferred heights identified in Map 1. This height is specified to be 11 metres.

State Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 11 – Settlement

Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Clause 15 – Built Environment and Heritage

Clause 15.01-1 Urban design

The objective of this policy is:

- *To create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.*

Clause 15.01-2 Urban design principles

The objective of this policy is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

Clause 15.01-4 Design for safety

The objective of this policy is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

Policy guidelines

Planning must consider as relevant:

- *Safer Design Guidelines for Victoria (Crime Prevention Victoria and Department of Sustainability and Environment, 2005).*

Clause 15.01-5 Cultural identity and neighbourhood character

The objective of this policy is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

Clause 15.02-1 Energy and resource efficiency

The objective of this policy is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

Clause 16 – Housing

Clause 16.01-1 Integrated housing

The objective of this policy is:

- *To promote a housing market that meets community needs.*

Clause 16.01-2 Location of residential development

The objective of this policy is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

Clause 16.01-4 Housing diversity

The objective of this policy is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 16.01-5 Housing affordability

The objective of this policy is:

- *To deliver more affordable housing closer to jobs, transport and services.*

Clause 18 - Transport

Local Planning Policy Framework (LPPF)

Clause 21.02 Municipal Profile

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

The site is within "Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads".

A substantial level of change is anticipated in Precinct 2 with these areas being a focus for higher density developments.

The Clause recognises the role of the Pines Activity Centre as a key Activity Centre within the municipality and provides a range of retail, commercial, community facilities and residential development opportunities.

The area around The Pines Activity Centre (shown on Manningham Planning Scheme maps as DDO9) is an area where development ranging in height from 11 metres to 16 metres is encouraged in designated areas, as identified in The Pines Activity Centre Structure Plan (2011).

Clause 21.05-2 Housing

The relevant objectives of this policy are:

- *To accommodate Manningham's projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*

- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*
- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality's population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.*
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

Clause 21.05-4 Built form and neighbourhood character

The objective of this policy is:

- *To ensure that residential development enhances the existing or preferred neighbourhood character of the residential character precincts as shown on Map 1 to this Clause.*

The strategies to achieve this objective include:

- *Require residential development to be designed and landscaped to make a positive contribution to the streetscape and the character of the local area.*
- *Ensure that where development is constructed on steeply sloping sites that any development is encouraged to adopt suitable architectural techniques that minimise earthworks and building bulk.*
- *Ensure that development is designed to provide a high level of internal amenity for residents.*
- *Require residential development to include stepped heights, articulation and sufficient setbacks to avoid detrimental impacts to the area's character and amenity.*

Clause 21.09 Activity Centres and Commercial Areas

This section applies to all activity centres and commercial areas identified in Framework Plan 5.

The Clause acknowledges that the Pines, East Doncaster is the municipality's one and only Major Activity Centre.

The vision for the Pines Activity Centre will continue to be a focus for the community and to provide for their retail, community, recreational and entertainment needs as well as providing for a diversity of residential options within its context of being on the fringe of the metropolitan area of Melbourne and its proximity to the Green Wedge.

Key Strategic Objectives are:

- Support the development of The Pines Activity Centre which meets the social, recreational and retail needs of the population at the sub-regional level.
- Ensure that any future development in The Pines Activity Centre is in keeping with its location on the fringe of the urban area and its proximity to the Green Wedge.

- Encourage apartment style development within The Pines Activity Centre to maximise the use of the commercial and social facilities provided within and to provide alternative housing options for the locality.
- Encourage greater use of public transport to and from The Pines Activity Centre and advocate for more services and for these services to be provided more frequently.
- Enhance the public realm within The Pines Activity Centre by ensuring that the public spaces meet a range of community needs, are well linked together, are easily accessible, safe and visually pleasing.
- Maximise use of the area's natural strengths such as views to surrounding rural and bushland areas in keeping with the community interest.
- Support housing choices to meet changing demographic trends, especially an ageing population.
- Support a range of health, family and professional services relevant to the role of The Pines Activity Centre.
- Support a range of education and learning activities to meet the needs and aspirations of the local community.
- Provide for well defined vehicular, bicycle and pedestrian access both with and external to all precincts, with strong pedestrian crossing points to be established on main roads.

Clause 21.10 Environmentally Sustainable Development

Council's Environmentally Sustainable Development Policy seeks to achieve best practice design, construction and operation for new development.

A number of considerations are to be made under the headings: key issues, objectives, and strategies relating to the following areas:

- Clause 21.10- 2 Energy Performance
- Clause 21.10-3 Water Sensitive design.
- Clause 21.10-4 External environmental amenity and internal healthy environment considerations
- Clause 21.10-5 Waste Management
- Clause 21.10- 6 Quality of Private and Public realm
- Clause 21.10-7 Transport
- Clause 21.10-8 Urban Ecology

Local Planning Policy

Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other

person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Particular Provisions

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings
- 1 visitor space to every 5 dwellings for developments of 5 or more dwellings

Clause 52.06-8 outlines various design standards for parking areas that should be achieved.

Clause 52.29 Land Adjacent to a Road Zone Category 1 (RDZ1) or a Public Acquisition Overlay for a Category 1 Road

The purpose of this provision is:

- To ensure appropriate access to identified roads
- To ensure appropriate subdivision of land adjacent to identified roads.

A permit is required to create or alter access to a road in a Road Zone, Category 1.

Clause 55 Two more dwellings on a lot and residential buildings

The development of two or more dwellings on a lot must meet the requirements of this clause. An assessment against this clause is provided in Appendix 1 of this report.

General Provisions

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- The State Planning Policy Framework and the Local Planning Policy *Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*