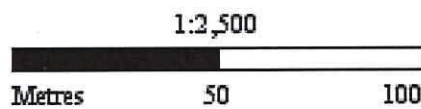


 **Subject Land** **Address:** 196-198 Serpells Road TEMPLESTOWE VIC, 3106

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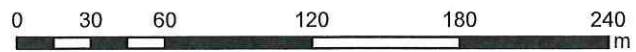
15/08/2018 3:15 pm



PL17/027970 - 196-198 SERPELLS ROAD TEMPLESTOWE



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196-198 Serpells Road Planning Scheme Zones	
	Objectors
	Suburb Boundaries
	Open Space
	GRZ3
	GRZ1
	GRZ2
	RCZ1
	RCZ2
	RCZ3
	RCZ4
	RCZ5
	NRZ1
	LDRZ
	RGZ1
	RGZ2

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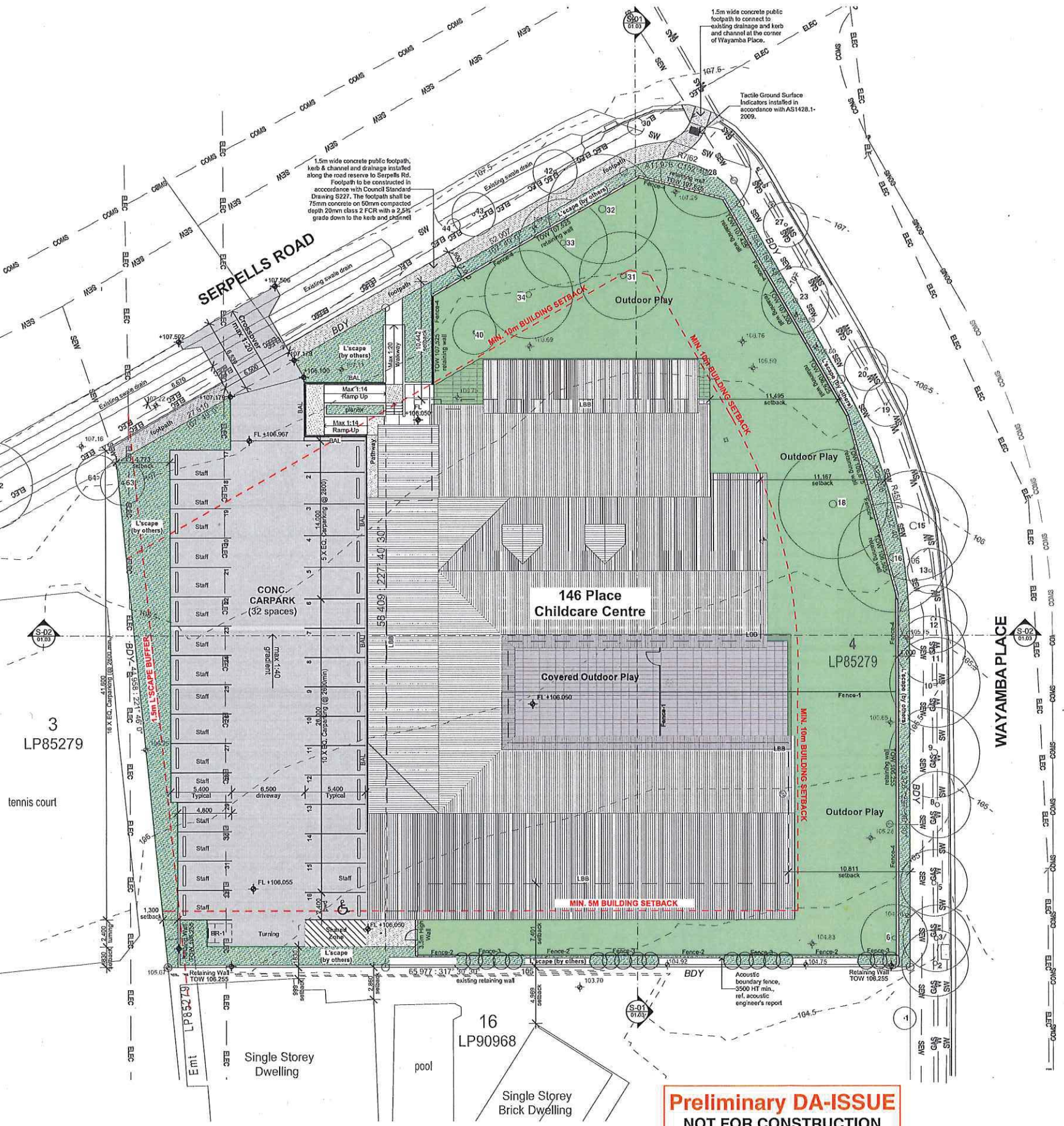
PLANNING AND ENVIRONMENT ACT 1987
MANNINGHAM PLANNING SCHEME

ADVERTISED PLANS

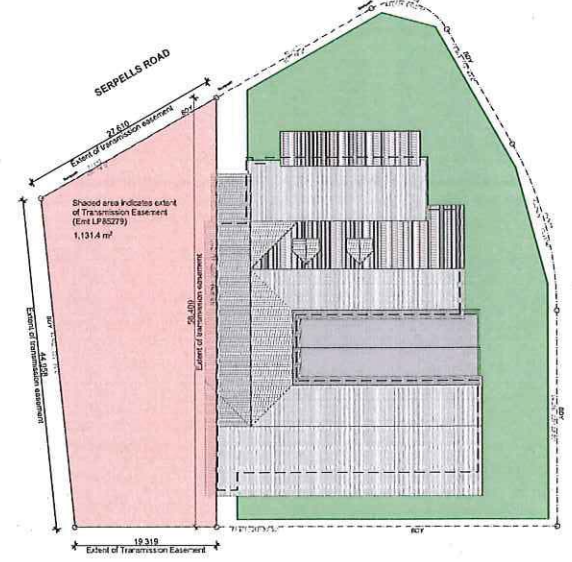
SITE PLAN LEGEND Date: 15 May 2018
 ○ Indicates existing trees (as per current site survey) 2 of 13
 ○ Indicates trees to remain

DEVELOPMENT INFO
 Stage 1 GFA 983.6m²
 LANDSCAPED/ OPEN SPACE approx. 1952m² = 51%
 Carparks Required 32 spaces
 Carparks Provided 32 spaces, incl. 1 x PWD
 CARPARK AREA 783m² = 20%
 RPD Lot 4 on LP85279 & Emt on LP85279
 Local Authority: Manningham City Templestowe
 Site Area: Approx. 3,874 m²
 Building Area: 1,139 m²

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02 Proposed Transmission Easement
Scale: 1:500



Site Plan
scale: 1:200 @ A1

Preliminary DA-ISSUE
NOT FOR CONSTRUCTION



Rev	Description	Date	Rev	Description	Date
A	DA RFI ISSUE	21/03/2018			
B	Issue for information	29/03/2018			
C	Issue for information	26/04/2018			
D	DA RFI Issue	27/04/2018			

project
TEMPLESTOWE CHILDCARE
196-198 Serpells Rd Templestowe VIC
client
CHLOEL GROUP



Development Application
 architect: KH drawn: KH
 project no: **0959-12 A-DA-01.01 D**

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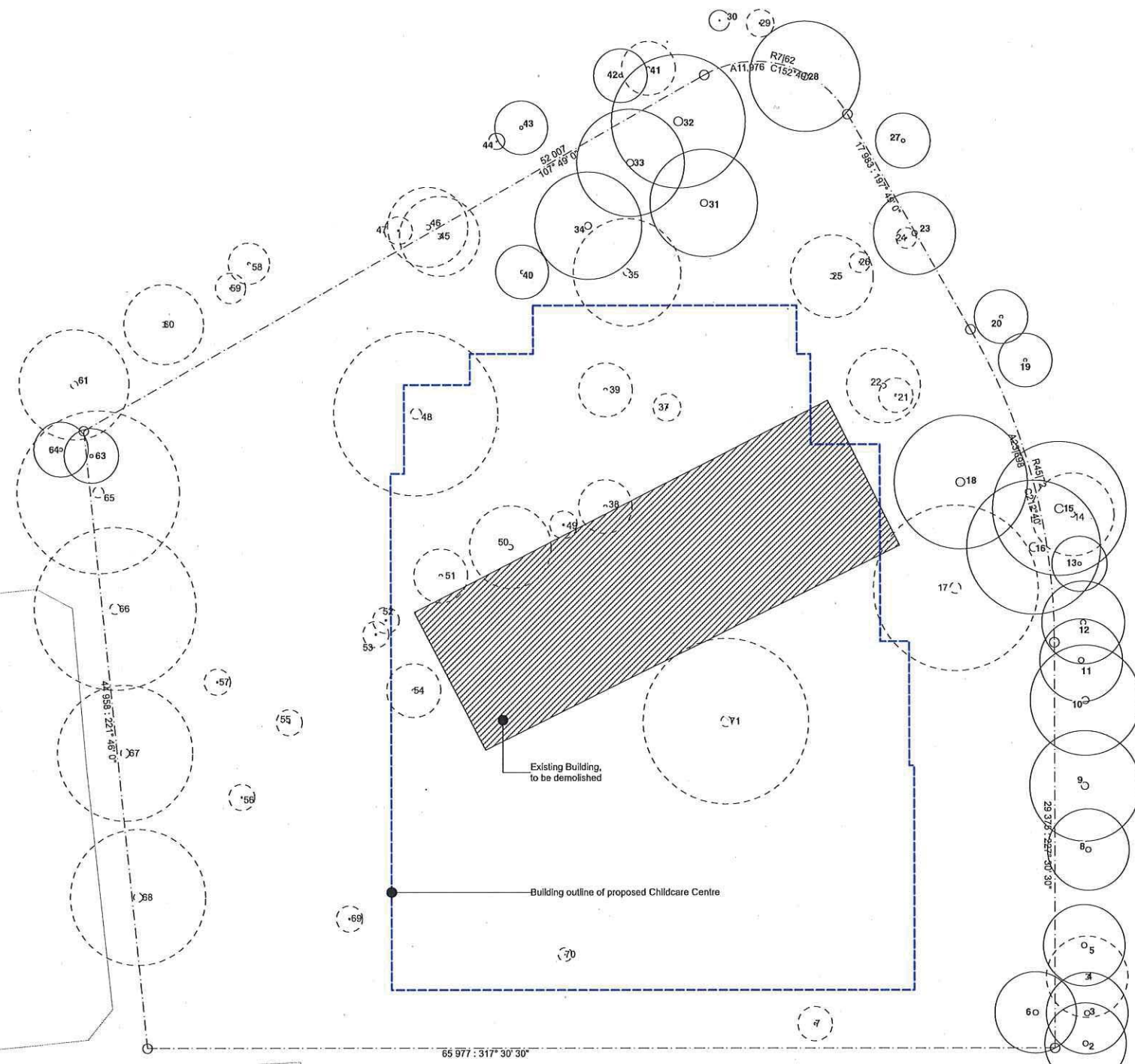
TREE TYPES LEGEND				Planning Application Number	Statute	Site DEMOLITION
1	Low	2.00	Photinia	Existing	15 May 2018	3 of 14
2	Low	2.45	Photinia	Existing		
3	Low	2.00	Photinia	Existing		
4	Low		Photinia	To Be Demolished		
5	Low	2.17	Photinia	Existing		
6	Low	2.00	Photinia	Existing		
7	Low		Desert Ash	To Be Demolished		
8	Low	3.10	Photinia	Existing		
9	Low	3.64	Photinia	Existing		
10	Medium	2.22	Water Gum	Existing		
11	Low	3.44	Photinia	Existing		
12	Low	3.82	Photinia	Existing		
13	Low	3.44	Photinia	Existing		
14	Low		Sweet Pittosporum	To Be Demolished		
15	Low	4.58	Photinia	Existing		
16	Low	3.25	Photinia	Existing		
17	Low		Photinia	To Be Demolished		
18	Low	3.82	Photinia	Existing		
19	Low	4.97	Photinia	Existing		
20	Medium	2.75	Water Gum	Existing		
21	Low		Lemonwood	To Be Demolished		
22	Low		Desert Ash	To Be Demolished		
23	Medium	4.79	Formosan Sweetgum	Existing		
24	Low		Sweet Pittosporum	To Be Demolished		
25	Low		Photinia	To Be Demolished		
26	Low		Monterey Pine	To Be Demolished		
27	Medium	3.06	Pyramid Tree	Existing		
28	Medium	4.97	Desert Ash	Existing		
29	Low		Blackwood	To Be Demolished		
30	Low	2.00	Blackwood	Existing		
31	Medium	5.81	Pin Oak	Existing		
32	Low	3.82	Photinia	Existing		
33	Low	3.82	Photinia	Existing		
34	Low	4.58	Photinia	Existing		
35	Low		Photinia	To Be Demolished		
37	Low		Desert Ash	To Be Demolished		
38	Low		Sweet Pittosporum	To Be Demolished		
39	Low		Desert Ash	To Be Demolished		
40	Low	2.00	Leyland Cyprus	Existing		
41	Low	2.00	Blackwood	To Be Demolished		
42	Low	2.00	Blackwood	Existing		
43	Low	2.00	Blackwood	Existing		
44	Low	2.00	Blackwood	Existing		
45	Medium		Swamp Gum	To Be Demolished		
46	Low		Swamp Gum	To Be Demolished		
47	Low		Coast Banksia	To Be Demolished		
48	Low		Sweet Pittosporum	To Be Demolished		
49	Low		Japanese Privet	To Be Demolished		
50	Low		Sweet Pittosporum	To Be Demolished		
51	Low		Desert Ash	To Be Demolished		
52	Low		Sweet Pittosporum	To Be Demolished		
53	Low		Sweet Pittosporum	To Be Demolished		
54	Low		Nectarine Tree	To Be Demolished		
55	Low		Loquat Tree	To Be Demolished		
56	Low		Lemon Tree	To Be Demolished		
57	Low		Lemon Tree	To Be Demolished		
58	Low		Desert Ash	To Be Demolished		
59	Low		Berry Heath	To Be Demolished		
60	Low		Sweet Pittosporum	To Be Demolished		
61	Low	8.25	Monterey Pine	To Be Demolished		
62	Low	4.35	Desert Ash	Existing		
63	Low	2.00	Sweet Pittosporum	Existing		
64	Low	2.00	Spotted Gum	Existing		
65	Low		Photinia	To Be Demolished		
66	Low		Photinia	To Be Demolished		
67	Low		Photinia	To Be Demolished		
68	Low		Photinia	To Be Demolished		
69	Low		Fig Tree	To Be Demolished		
70	Low		Loquat Tree	To Be Demolished		
71	Medium		Yellow Gum	To Be Demolished		

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Indicates existing trees (as per current site survey), to be removed

Indicates existing building (as per current site survey), to be demolished and removed

Indicates proposed building outline



Preliminary DA-ISSUE
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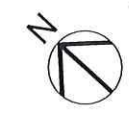
Site Plan - Tree Removal
scale: 1:200 @ A1



Rev	Description	Date
A	DA RFI ISSUE	21/03/2016
B	DA RFI Issue	27/04/2016

Rev	Description	Date

project
TEMPLESTOWE CHILDCARE
196-198 Serpells Rd Templestowe VIC
client
CHLOEL GROUP

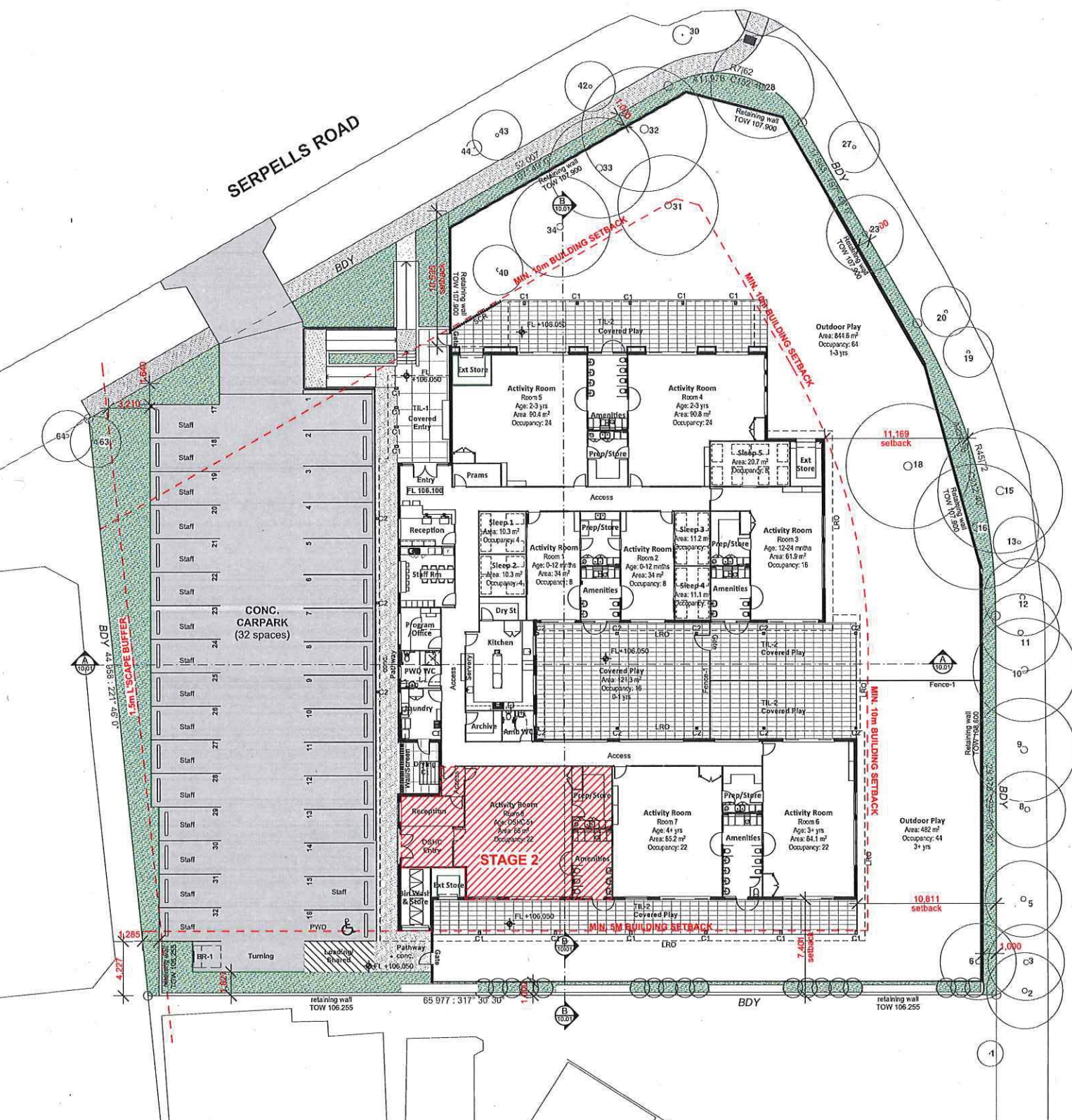


Development Application
architect: KH drawn: KH
project no: **0959-12 A-DA-01.02 B**

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Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

Serpells Road Childcare Centre Configuration Planning Application Number 15/0000000				Date: 15 May 2018		Sheet 7 of 14		FLOOR PLAN LEGEND	
STAGE 1	Room Name	Age	Min Area (m ²)	Occupancy	Staff	Code	Material	Code	Description
	Activity Room 1 - Sleep	0-12 mths	78	24	6	BR-1	Concrete	C1	Balustrade - Safety railing
	Activity Room 2 - Sleep	0-12 mths	78	24	6	BR-1	Concrete	C1	Bike Rack - Cora CBR Series
	Activity Room 3 - Sleep	0-12 mths	78	24	6	BR-1	Concrete	C1	Structural Column
	Activity Room 4	2-3 years	78	24	6	BR-1	Concrete	C1	Acoustic Fence Type 3 - Screer (3.5m High)
	Activity Room 5	2-3 years	78	24	6	BR-1	Concrete	C1	Acoustic Fence Type 3 - Screer (3.5m High)
	Activity Room 6	3+ years	71.5	22	2	BR-1	Concrete	C1	Acoustic Fence Type 4 - 1.8m I
	Activity Room 7	4+ years	71.5	22	2	BR-1	Concrete	C1	Acoustic Fence Type 4 - 1.8m I
	Total		403	124	24				FENCE-3
	Outdoor Play	0-12 mths	112	16					Acoustic Fence Type 3 - Screer (3.5m High)
	Outdoor Play	12mths-3 years	448	64					Acoustic Fence Type 4 - 1.8m I
	Outdoor Play	3+ years	398	44					FLOOR LEVEL
	Revised Total		858	124					FL
	Revised Total		858	124					LRO
	Revised Total		858	124					OSHC
	Revised Total		858	124					SCR
	Revised Total		858	124					TIL-1
	Revised Total		858	124					TIL-2
	Revised Total		858	124					TOW
	Revised Total		858	124					Top Of Wall
STAGE 2 EXTENSION	Activity Room 8	OSCH	82.5	22	2				
	Revised Total		474.5	146	26				
	Revised Total		154	22					
	Revised Total		1,022	146					



Preliminary DA-ISSUE
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Floor Plan (STAGE 1 & 2)

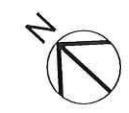
scale: 1:200 @ A1



Rev	Description	Date
A	DA RFI ISSUE	21/03/2018
B	Issue for information	29/03/2018
C	DA RFI Issue	27/04/2018

Rev	Description	Date

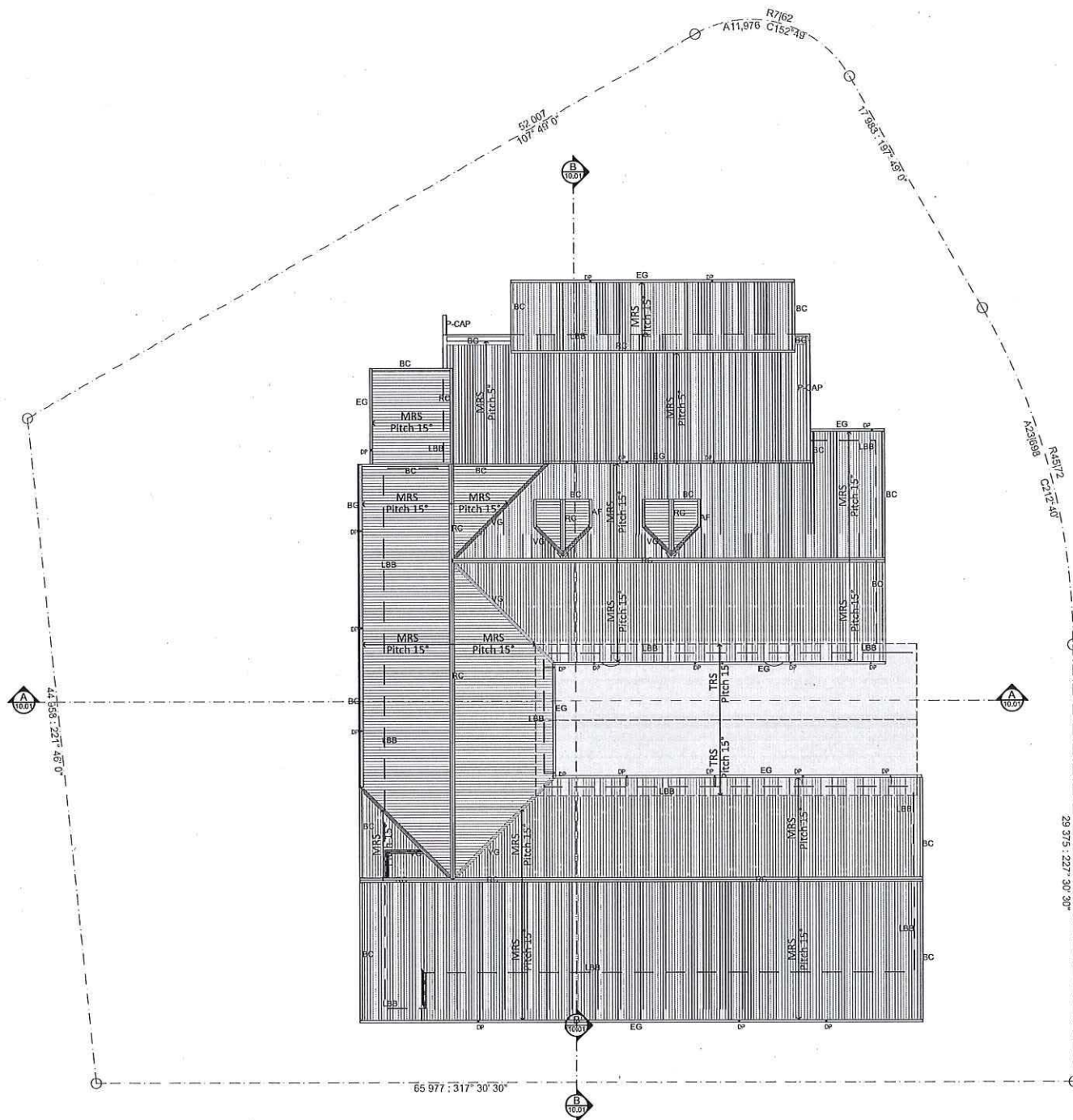
project
TEMPLESTOWE CHILDCARE
196-198 Serpells Rd Templestowe VIC
client
CHLOEL GROUP



Development Application

architect: KH drawn: KH

project no: **0959-12 A-DA-03.02 C**



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Roof Plan

scale: 1:200 @ A1



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B	DA RFI Issue	27/04/2018

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Rev	Description	Date

project
TEMPLESTOWE CHILDCARE
196-198 Serpells Rd Templestowe VIC
client
CHLOEL GROUP



Development Application

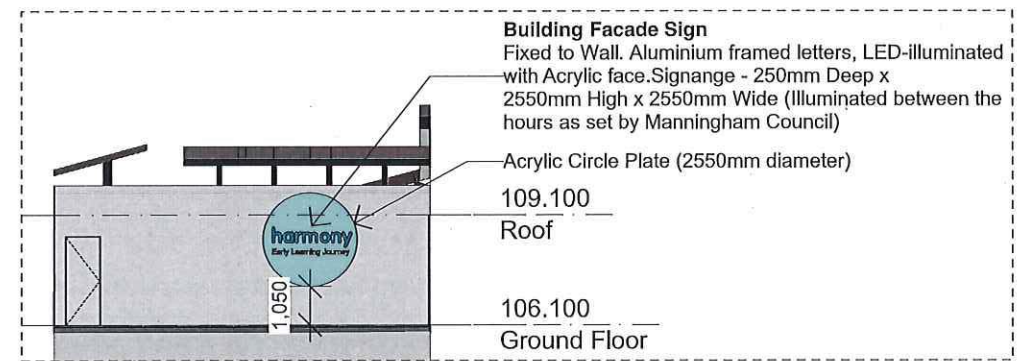
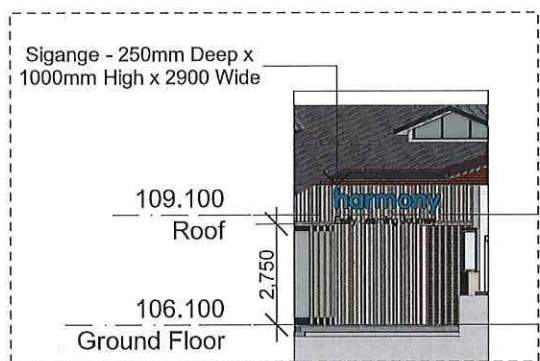
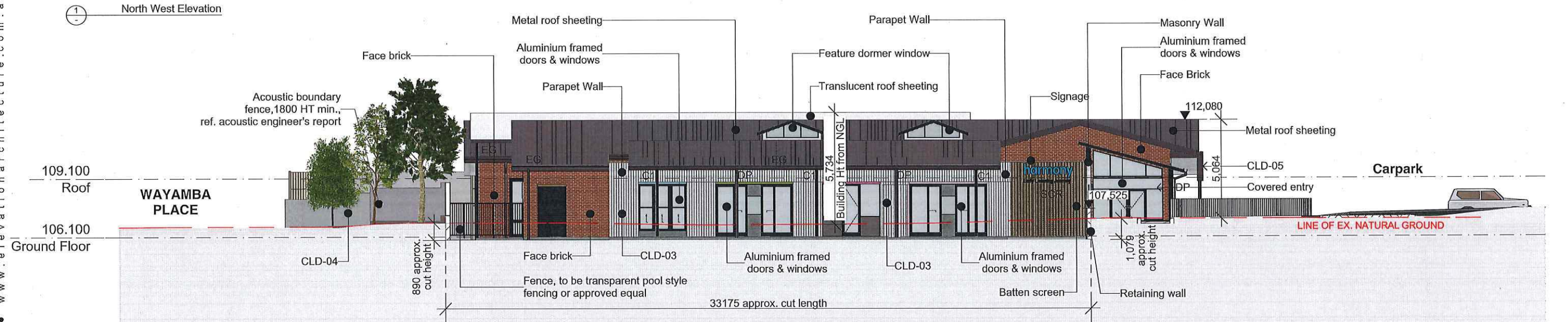
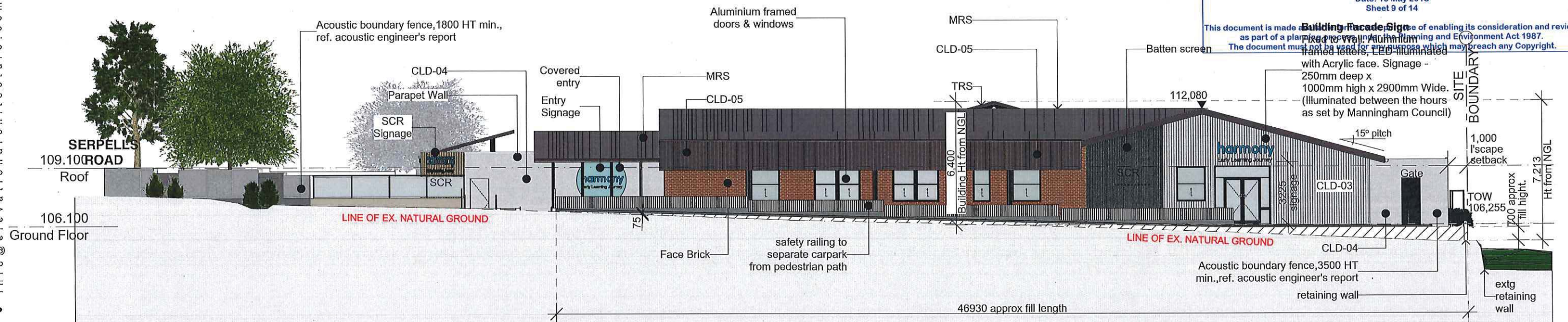
architect: KH drawn: KH

project no: **0959-12 A-DA-04.01 B**

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 MANNINGHAM PLANNING SCHEME
 ADVERTISED PLANS
 Planning Application Number: PL17/027970
 Date: 15 May 2018
 Sheet 9 of 14

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ELEVATION & SECTION LEGEND

CODE	Description	Product	Colour
	Aluminium Doors & Windows	GJames (or approved equal)	PC-Monument
CLD-01	Fibre Cement Cladding	James Hardie Scyon-Axon (or approved equal)	Charcoal
CLD-02	Fibre Cement Cladding	James Hardie HardiFlex (or approved equal)	Mid Grey
CLD-03	Fibre Cement Cladding	James Hardie Scyon-Axon (or approved equal)	Light Grey
CLD-04	Render & Paint to Masonry	Rockcote (or approved equal)	Colour scheme (TBA)
CLD-05	Colorbond Sheet Metal	Stramit (or approved equal)	Monument

Code	Description	Product	Colour
DP	Downpipe	James Hardie	Charcoal
EG	Eaves Gutter	James Hardie	Charcoal
MRS	Face Brick	Stramit	Monument
NGL	Metal Roof Sheetting	James Hardie	Charcoal
TOW	Natural Ground Line	James Hardie	Charcoal
TRS	Top Of Wall	James Hardie	Charcoal
SCR	Translucent Roof Sheetting	James Hardie	Charcoal
	Screen	James Hardie	Charcoal
			PC-Bronze

Preliminary DA-ISSUE
 NOT FOR CONSTRUCTION

Elevations 01
 scale: 1:200 @ A1



Rev	Description	Date	Rev	Description	Date
A	DA RFI ISSUE	21/03/2018			
B	DA RFI Issue	27/04/2018			

project
TEMPLESTOWE CHILDCARE
 196-198 Serpells Rd Templestowe VIC
 client
CHLOEL GROUP

Development Application
 architect: KH drawn: KH
 project no: **0959-12 A-DA-09.01 B**

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PLANNING AND ENVIRONMENT ACT 1987
MANNINGHAM PLANNING SCHEME
ADVERTISED PLANS
Planning Application Number: PL17/027970
Date: 15 May 2018
Sheet 10 of 14
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South East Elevation



South West Elevation

ELEVATION & SECTION LEGEND

CODE	Description	Product	Colour	DP	EG	MRS	NGL	TOW	TRS	SCR	PGH (or approved equal)	Terracotta	Monument	PC-Bronze
CLD-01	Fibre Cement Cladding	GJames (or approved equal) James Hardie Scyon-Axon	Charcoal	Downpipe Eaves Gutter Face Brick Metal Roof Sheeting			Natural Ground Line	Top Of Wall	Translucent Roof Sheeting	Screen	Stramit (or approved equal)			
CLD-02	Fibre Cement Cladding	James Hardie HardiFlex (or approved equal)	Mid Grey											
CLD-03	Fibre Cement Cladding	James Hardie Scyon-Axon (or approved equal)	Light Grey											
CLD-04	Render & Paint to Masonry	Rockcote (or approved equal)	Colour scheme (TBA)											
CLD-05	Colorbond Sheet Metal	Stramit (or approved equal)	Monument											

Preliminary DA-ISSUE
NOT FOR CONSTRUCTION

Elevations 02

scale:



Rev	Description	Date
A	DA RFI Issue	27/04/2018

Rev	Description	Date

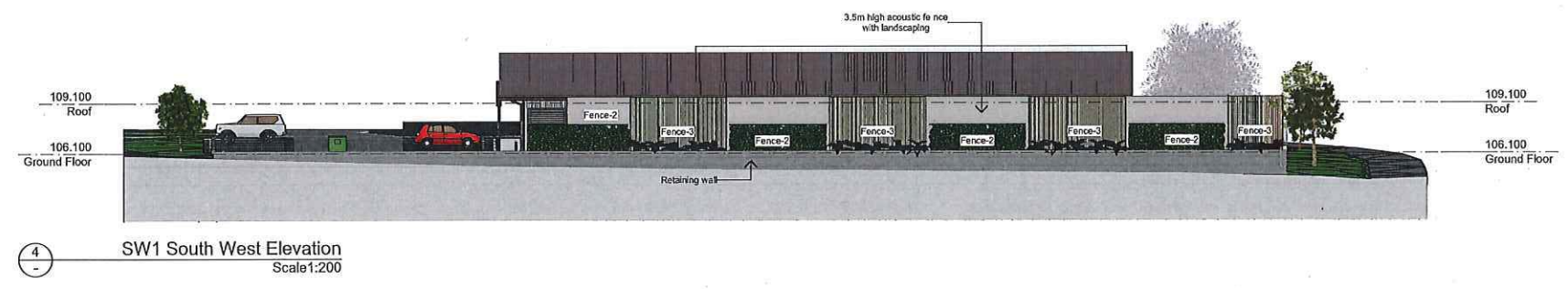
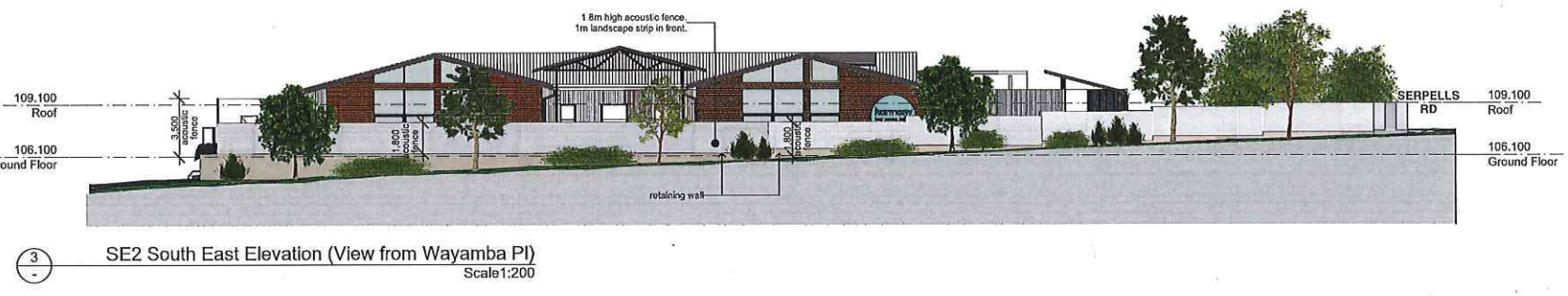
project
TEMPLESTOWE CHILDCARE
196-198 Serpells Rd Templestowe VIC
client
CHLOEL GROUP

Development Application
architect: KH drawn: KH
project no: **0959-12 A-DA-09.02 A**

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CODE	Description	Product	Colour
CLD-01	Fibre Cement Cladding	James Hardie Scyon-Axon (or approved equal)	Charcoal
CLD-02	Fibre Cement Cladding	James Hardie HardiFlex (or approved equal)	Mid Grey
CLD-03	Fibre Cement Cladding	James Hardie Scyon-Axon (or approved equal)	Light Grey
CLD-04	Render & Paint to Masonry	Rockcote (or approved equal)	Colour scheme (TBA)
CLD-05	Colorbond Sheet Metal	Sirramit (or approved equal)	Monument
DP	Downpipe		
EG	Eaves Gutter		
MRS	Face Brick Metal Roof Sheetling	PGH (or approved equal) Sirramit (or approved equal)	Terracotta Monument
NGL	Natural Ground Line		
TOW	Top Of Wall		
TRS	Translucent Roof Sheetling		
SCR	Screen		PC-Bronze



Preliminary DA-ISSUE
NOT FOR CONSTRUCTION

Elevations (with fencing)
scale:



Rev	Description	Date	Rev	Description	Date
A	DA RFI ISSUE	21/03/2018			
B	DA RFI Issue	27/04/2018			

project
TEMPLESTOWE CHILDCARE
196-198 Serpells Rd Templestowe VIC
client
CHLOEL GROUP

Development Application
architect: KH drawn: KH
project no: **0959-12 A-DA-09.03 B**

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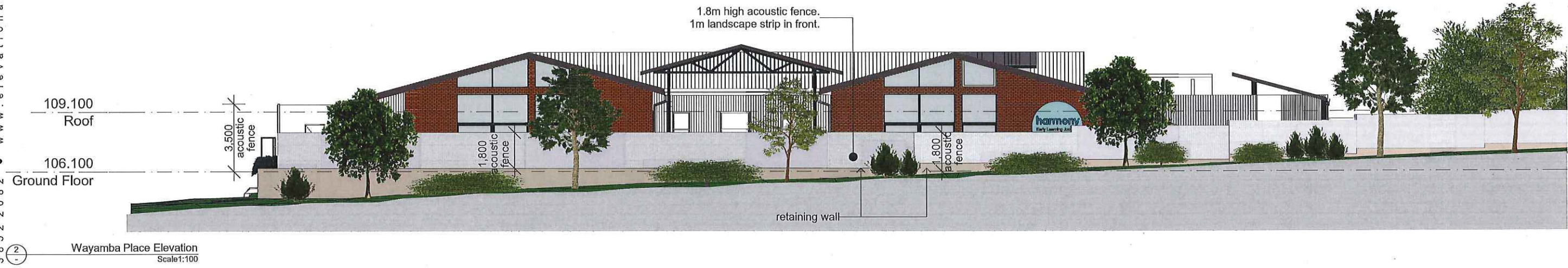
PLANNING AND ENVIRONMENT ACT 1987
MANNINGHAM PLANNING SCHEME

ADVERTISED PLANS

ELEVATION & SECTION LEGEND Number: PL17/027970
Date: 15 May 2018
Sheet 12 of 14

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CODE	Description	Material	Colour
CLD-01	Fibre Cement Cladding	James Hardie Scyon-Axon (or approved equal)	Charcoal
CLD-02	Fibre Cement Cladding	James Hardie HardiFlex (or approved equal)	Mid Grey
CLD-03	Fibre Cement Cladding	James Hardie Scyon-Axon (or approved equal)	Light Grey
CLD-04	Render & Paint to Masonry	Rockcote (or approved equal)	Colour scheme (TBA)
CLD-05	Colorbond Sheet Metal	Stramit (or approved equal)	Monument
DP	Downpipe		
EG	Eaves Gutter		
MRS	Face Brick	PGH (or approved equal)	Terracotta
	Metal Roof Sheeting	Stramit (or approved equal)	Monument
NGL	Natural Ground Line		
TOW	Top Of Wall		
TRS	Translucent Roof Sheeting		
SCR	Screen		PC-Bronze



Preliminary DA-ISSUE
NOT FOR CONSTRUCTION

Elevations - Streetscape
scale: 1:100 @ A1



Rev	Description	Date
A	DA RFI ISSUE	21/03/2018
B	DA RFI Issue	27/04/2018

Rev	Description	Date

project
TEMPLESTOWE CHILDCARE
196-198 Serpells Rd Templestowe VIC
client
CHLOEL GROUP

Development Application

architect: KH drawn: KH

project no: **0959-12 A-DA-09.04 B**

TEMPLESTOWE CHILDCARE CENTRE

CALCULATION OF AREAS

INTERNAL PLAY AREAS: 3.25 sqm clear required per child

ACTIVITY ROOM CALCULATIONS							
Room Number	Room	Age Group	Occupancy	Min. Area Req. (m2)	Area Provided (m2)	Staff Ratio	No. of Staff
105	Activity Room 1	Age: 2-3 years	20	65	79.81	1:4	5
108	Activity Room 2	Age: 2-3 years	20	65	85.90	1:4	5
111	Activity Room 3	Age: 12-24 months	16	52	58.42	1:4	4
116	Activity Room 4	Age: 0-12 months	8	26	31.65	1:4	2
119	Activity Room 5	Age: 0-12 months	8	26	31.66	1:4	2
134	Activity Room 6	Age: 3+ years	22	71.5	80.49	1:11	2
137	Activity Room 7	Age: 4+ years	22	71.5	85.97	1:11	2
140	Activity Room 8 (OSHC)	Age: 5+ years (OSHC)	22	71.5	80.97	1:11	2
TOTALS			138				24

EXTERNAL PLAY AREAS: 7 sqm clear required per child

TOTAL NO. OF CHILDREN = 138
TOTAL REQUIRED AREA = 1,022m²

PLAY AREA CALCULATIONS					
Zone Number	Full Element ID	Occupancy	Area Required (m2)	Area Provided (m2)	
001	Age: 1-3 years	56	392	863.37	
002	Age: 0-1 years	16	112	122.67	
003	Age: 3+ years	66	462	483.31	
TOTALS			138	966	1449.83m²



SITE INFORMATION

RPD: Lot 4 on LP85279 & Emt on LP85279
Local Authority: Manningham City
Locality: Templestowe
Site Area: Approx. 3,874 m²
Building Area: 1,139 m²

DEVELOPMENT INFO

Occupancy (Children): 138
GFA: Stage 1 GFA 983.6m², Stage 2 GFA 179.1m², TOTAL GFA 1162.7m²
SITE COVER: 29%
LANDSCAPE (excl. play area): 465m², + play area 1,469m², 1,934m² = 50%
Carparks Required: 30 spaces, 0.22 spaces per child
Carparks Provided: 30 spaces, incl. 1 x PWD
CARPARK AREA: 783m² = 20%

SITE PLAN LEGEND

- A/C Air Conditioning Unit
- B Bollard
- BAL Balustrade - Safety railing
- BDY Boundary
- CONC Concrete
- ELEC Electrical
- F1 Fence Type 1 - Pool fencing
- F2 Fence Type 2 (acoustic) - Solid Wall (2.5m High)
- F3 Fence Type 3 (acoustic) - Lapped Timber Fence (2.5m High)
- F4 Fence (acoustic) Type 4 - Glass Balustrade on Rendered Masonry Wall (min 1.8m High)
- F5 Fence Type 5 (acoustic) - Rendered Masonry Wall (min 1.8m High)
- F6 Fence Type 6 - Powdercoated aluminium slats on Rendered Masonry Wall
- FH Fire Hydrant
- HC Hose Cock
- LBB Line of Building Below
- SEW Sewer
- SW Storm Water
- TOW Top of Wall

NOTES

- Ensure retaining wall and fence does not exceed 2.0m in height to any adjacent properties.
- All retaining walls over 1.0m in height to be structurally certified and comply with ODC.
- Landscaping to be constructed generally in accordance with approved Landscape Architect's drawings.

FOR DISCUSSION

SITE INFORMATION

Real Property Description: Lot 4 on LP85279 & Emt on LP85279

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

Rev	Description	Date
01	Preliminary Coordination Issue	09/05/2018
02	Consultant Coordination Issue	24/05/2018
03	Preliminary Tender Issue	18/07/2018
04	Preliminary Tender Issue	19/07/2018
05	Issue for Discussion	01/08/2018

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project
TEMPLESTOWE CHILDCARE CENTRE

196-198 Serpells Rd
Templestowe VIC

client
CHLOEL GROUP

stage
DEVELOPMENT APPROVAL

drawing
Proposed Site Plan

scale: 1:200 @ A1

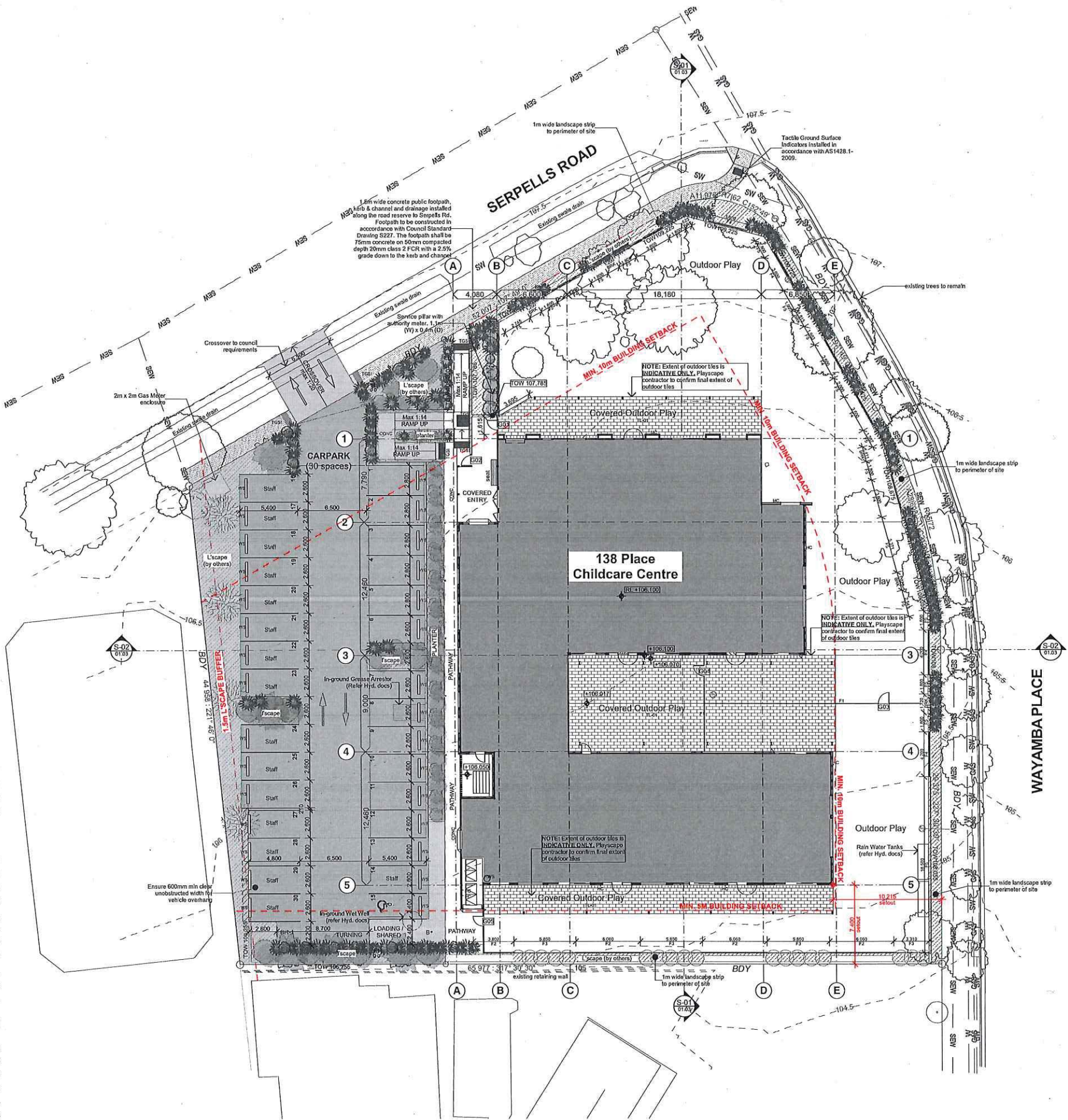
architect: KH

drawn: KH

project no: 0959-12

A-WD-01.03

05



SITE PLAN LEGEND

A/C	Air Conditioning Unit
B	Bollard
BAL	Balustrade - Safety railing
BDY	Boundary
CONC	Concrete
ELEC	Electrical
F1	Fence Type 1 - Pool fencing
F2	Fence Type 2 (acoustic) - Solid Wall (2.5m High)
F3	Fence Type 3 (acoustic) - Lapped Timber Fence (2.5m High)
F4	Fence (acoustic) Type 4 - Glass Balustrade on Rendered Masonry Wall (min 1.8m High)
F5	Fence Type 5 (acoustic) - Rendered Masonry Wall (min 1.8m High)
F6	Fence Type 6 - Powdercoated aluminium slats on Rendered Masonry Wall
FH	Fire Hydrant
HC	Hose Cock
LBB	Line of Building Below
SEW	Sewer
SW	Storm Water
TOW	Top of Wall

- NOTES**
1. Ensure retaining wall and fence does not exceed 2.0m in height to any adjacent properties.
 2. All retaining walls over 1.0m in height to be structurally certified and comply with QDC.
 3. Landscaping to be constructed generally in accordance with approved Landscape Architect's drawings.

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

Rev	Description	Date
01	Consultant Coordination Issue	24/05/2018
02	Consultant Coordination Issue	13/06/2018
03	Preliminary Tender Issue	18/07/2018
04	Preliminary Tender Issue	19/07/2018
05	Issue for Discussion	01/08/2018

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.



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**TEMPLESTOWE
CHILDCARE
CENTRE**

196-198 Serpells Rd
Templestowe VIC

client
CHLOEL GROUP

stage
**DEVELOPMENT
APPROVAL**

drawing
**Proposed Site Works
Plan**

scale: 1:200 @ A1

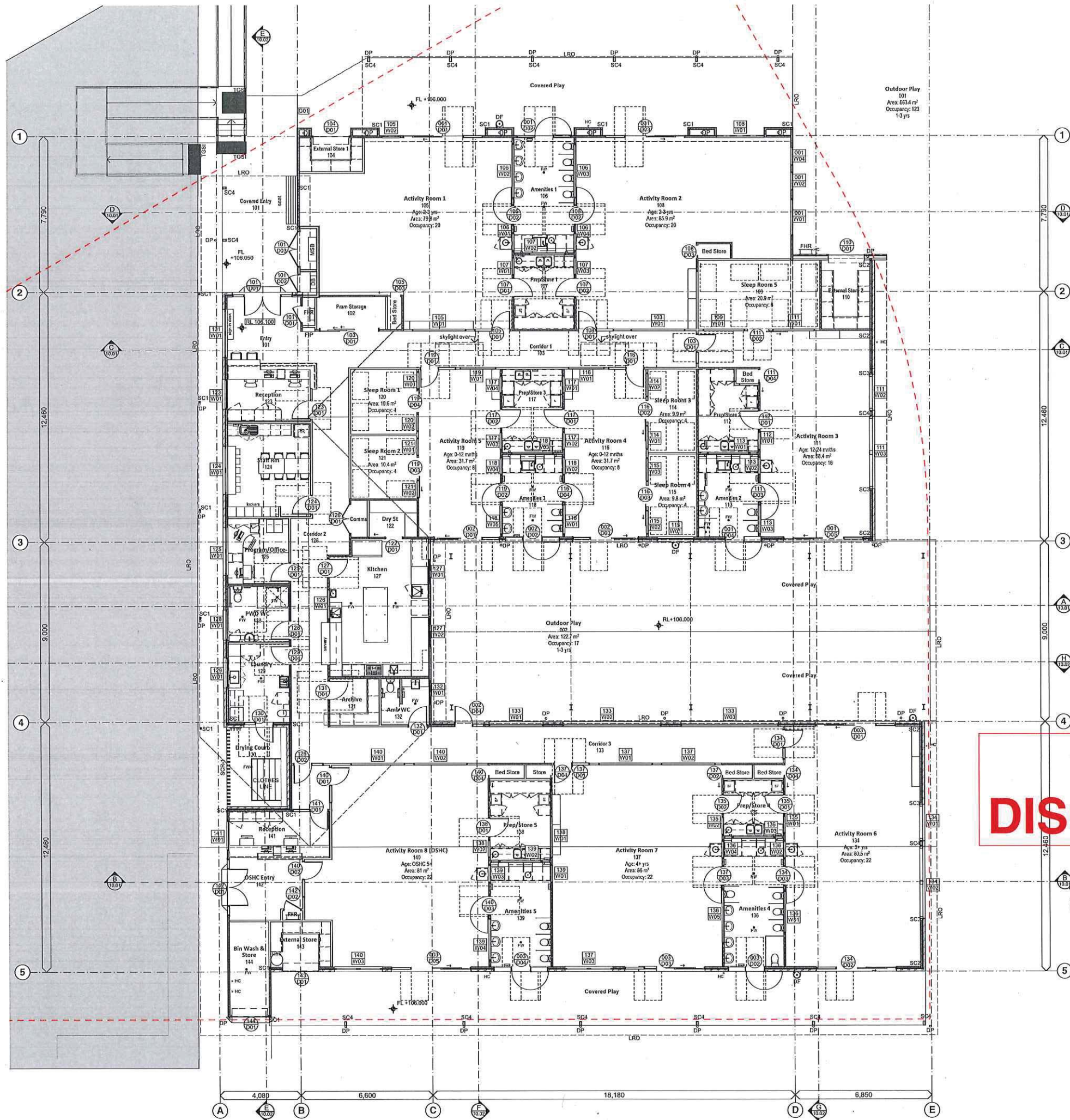
architect: KH

drawn: KH

project no: 0959-12

A-WD-01.04 05

FOR DISCUSSION



FLOOR PLAN LEGEND

- Slud Wall - 90mm typical
- ▨ Brick Veneer Wall
- Door Number
- Window Number
- ⊙ Gate Number

- B Bollard
- BAL-1 Balustrade Type 1 - safety railing
- BR Bicycle Rack - Cora CBR Series
- C1 Structural Column Refer Struct. Eng. Doc.
- C2 Structural Column Refer Struct. Eng. Doc.
- DB Distribution Board
- DF Drinking Fountain
- DP Downpipe
- DPS Downpipe Splitter
- DJ Dowelled slab Joint
- EG Eaves Gutter
- FHR Fire Hose Reel
- FIP Fire Indicator Panel
- FW Floor Waste
- GTD Grated Trench Drain
- HC Hose Cock
- HR 50Ø powdercoated handrail (1000mm above finished floor level) fixed back to wall. Handrail to be 50mm clear of wall.
- HWS Hot Water System - refer elec. eng. docs
- LB Letter Box
- LBO Line of Building Over
- LRO Line of Roof Over
- LSO Line of Slab Over
- MSB Main Switchboard
- OSHC Outside School Hours Care
- SC1 Structural Column - refer struct. eng. docs
- SC2 Structural Column - refer struct. eng. docs
- SC3 Structural Column - refer struct. eng. docs
- SC4 Structural Column - refer struct. eng. docs
- SC5 Structural Column - refer struct. eng. docs
- SJ Saw cut slab Joint
- SCR-1 Powdercoated 150x50 vertical RHS with 50 x 50 SHS horizontal battens.
- TGSI Tactile Ground Surface Indicator
- TOW Top Of Wall
- TR Threshold Ramp (max. 35mm rise, compliant with AS1428.1)
- WS WheelStop - (concrete) to comply with AS.2890.1

NOTES

1. To be read in conjunction with consultants documentation.
2. Refer to Site Works Plan for setout of site columns, walls, stairs and driveway.
3. Dimensions are taken to wall cores and do not include linings.
4. Ag. line to be connected to stormwater system.
5. Provide falls to all Wet Areas to AS.3740

**DESIGN
DEVELOPMENT
NOT FOR
CONSTRUCTION**

Rev	Description	Date
01	Preliminary Coordination Issue	09/05/2018
02	Consultant Coordination Issue	24/05/2018
03	Consultant Coordination Issue	13/06/2018
04	Preliminary Tender Issue	18/07/2018
05	Preliminary Tender Issue	19/07/2018
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CHLOEL GROUP

stage
**DEVELOPMENT
APPROVAL**

drawing
**Floor Plan - Ground
Floor**

scale: 1:100 @ A1

architect: KH

drawn: KH

project no: 0959-12

A-WD-03.01 06



① View from Serpells Road



② View from Serpells Road

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

FOR DISCUSSION

3D Views
scale: 1:1 @ A1



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DEVELOPMENT APPROVAL

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project no: **0959-12 A-WD-24.01 01**



② View from corner of Wayamba Place and Serpells Road



① View from Wayamba Place

DESIGN DEVELOPMENT
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FOR DISCUSSION

3D Views
scale: 1:1 @ A1



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P:\Data 1\0959-12 Templestowe Childcare Centre\5.4 Contract Documentation\5.4.1 ArchiCAD\0959-12_CD_Easement Test.pln

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DEVELOPMENT APPROVAL

architect: KH drawn: KH

project no: **0959-12 A-WD-24.02 01**



2 View of OSHC Entry



1 Carpark View

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

FOR DISCUSSION

3D Views
scale: 1:1 @ A1



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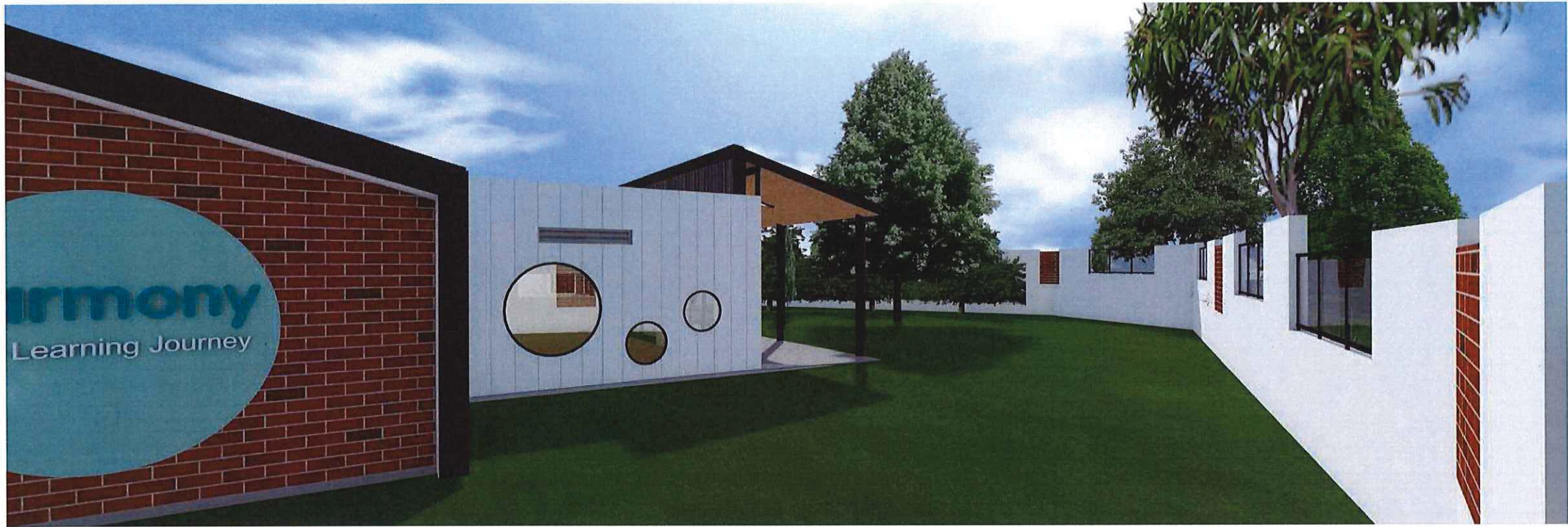
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architect: KH drawn: KH

project no: **0959-12 A-WD-24.03 01**



① Playscape View



② Playscape View

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

FOR DISCUSSION

3D Views
scale: 1:1 @ A1



Rev	Description	Date
01	Issue for Discussion	01/08/2018

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196-198 Serpells Rd Templestowe VIC
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CHLOEL GROUP

DEVELOPMENT APPROVAL

architect: KH drawn: KH

project no: **0959-12 A-WD-24.04 01**

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- Planning Policy Framework
- Clause 32.03 Low Density Residential Zone
- Clause 42.03 Significant Landscape Overlay, Schedule 1
- Clause 52.05 Signs
- Clause 52.06 Car Parking
- Clause 65 Decision Guidelines

Zone

Clause 32.03 Low Density Residential Zone

The purpose of the Low Density Residential Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.*

A permit is required for a Section 2 use – child care centre.

A permit is required to construct or carry out a building or works associated with a Section 2 use.

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider the Municipal Planning Strategy and the Planning Policy Framework.

This zone is in Signage Category 3.

Overlay

Clause 42.03 Significant Landscape Overlay, Schedule 1

Landscape character objectives to be achieved include:

- *To encourage development that is in keeping with the vegetated character of the area and is sympathetic to the existing built form.*
- *To ensure that development responds to the area's landscape and environmental characteristics, including topography, vegetation and waterways.*
- *To ensure that the visual impact of development is minimised.*
- *To minimise the visual impact of earthworks on the landscape.*
- *To minimise the impacts of site run-off and soil erosion on the landscape.*
- *To promote the retention and establishment of vegetation.*
- *To avoid, minimise and offset the removal of Victorian native vegetation.*
- *To maintain the treed character of the low density residential areas.*
- *To ensure that adequate setbacks are provided to enable the retention and planting of screen shrubs and large canopy trees as part of any development.*

A permit is required to construct a building or construct or carry out works.

A permit is required to remove, destroy or lop any vegetation specified in a schedule to this overlay. This does not apply:

- If the table to Clause 42.03-3 specifically states that a permit is not required.
- To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The statement of the nature and key elements of the landscape and the landscape character objective contained in a schedule to this overlay.*
- *The conservation and enhancement of the landscape values of the area.*
- *The need to remove, destroy or lop vegetation to create a defensible space to reduce the risk of bushfire to life and property.*
- *The impact of the proposed buildings and works on the landscape due to height, bulk, colour, general appearance or the need to remove vegetation.*
- *The extent to which the buildings and works are designed to enhance or promote the landscape character objectives of the area.*
- *The impact of buildings and works on significant views.*
- *Any other matters specified in a schedule to this overlay.*

State Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- *Promote good urban design to make the environment more liveable and attractive.*
- *Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.*
- *Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.*

- *Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.*
- *Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*

Clause 15.01-2 (Urban Design Principle) policy objective is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
- *The underlying natural landscape character.*
- *The heritage values and built form that reflect community identity.*
- *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*

- *Support low energy forms of transport such as walking and cycling.*

Clause 18.01-1 Integrated Transport: Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

Clause 18.02-1 Movement networks: Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

Clause 18.02-2 Cycling

The policy objective is:

- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

The clause includes several strategies to achieve this objective including to:

Require the provision of adequate bicycle parking and related facilities to meet demand at education, recreation, shopping and community facilities and other major attractions when issuing planning approvals.

Clause 18.02-4 Management of the road system

The policy objective is:

- *To manage the road system to achieve integration, choice and balance by developing and efficient and safe network and making the most of existing infrastructure.*

Local Planning Policy Framework (LPPF)

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.06 Low Density

Built form and landscape character

New development should be designed and sited to reinforce and be respectful of the landscape and environmental characteristics of the site and its surroundings. The importance of retaining and enhancing native vegetation cover and in some circumstances pine and cypress tree cover is an intrinsic part of the preferred character of low density residential areas.

Traffic and Carparking

The existing local road network within some parts of the Low Density Residential Zone is characterised by narrow roads, including single lane and unsealed roads, well-vegetated road verges, unmade kerbs and channels and no footpaths. The undulating topography in

these locations can create issues associated with impaired lines of vision for vehicles and limited pedestrian accessibility. This semi-rural road network contributes to the low density character of the area. The intensity of use and development should not detrimentally impact on the capacity or safety of the existing local road network, with all associated car parking to be provided on site.

Economic development issues

Council encourages home occupations as an important means of achieving economic development and providing opportunities that enable residents to work from home. The needs of these businesses should be addressed while ensuring that residential amenity is not adversely affected.

Clause 21.10 Ecologically Sustainable Development

This policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

Clause 21.14 Community Health and Wellbeing

The objectives of this clause are:

To provide appropriate spaces and facilities for social interaction.

- *To ensure that physical access to buildings, services and facilities meet the highest standards.*
- *To provide quality community amenities, educational institutions, diverse leisure, sporting and cultural opportunities and resident support services and programs.*
- *To encourage the provision of multi-purpose facilities in proximity to activity centres.*
- *To encourage the provision of aged accommodation in locations with appropriate infrastructure and access to services.*
- *To ensure that urban design promotes a sense of place, community identity, social interaction and a safe environment.*
- *To ensure that potentially contaminated sites do not impact on subsequent land uses or result in adverse effects on soil, water, air quality and health.*
- *To minimise adverse impacts associated with the location and operation of gaming venues and machines.*

One of the strategies to achieve these objectives is to:

Encourage the establishment of community based facilities, including child care centres and health care facilities, in proximity to activity centres or other community facilities.

Local Planning Policy

Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Particular Provisions

Clause 52.05 Signs

Pursuant to Clause 52.05-13, business identification and internally illuminated signs require a permit.

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

The character of the area including:

- *The sensitivity of the area in terms of the natural environment, heritage values, waterways and open space, rural landscape or residential character.*
- *The compatibility of the proposed sign with the existing or desired future character of the area in which it is proposed to be located.*
- *The cumulative impact of signs on the character of an area or route, including the need to avoid visual disorder or clutter of signs.*
- *The consistency with any identifiable outdoor advertising theme in the area.*

The relationship to the streetscape, setting or landscape:

- *The proportion, scale and form of the proposed sign relative to the streetscape, setting or landscape.*
- *The position of the sign, including the extent to which it protrudes above existing buildings or landscape and natural elements.*
- *The ability to screen unsightly built or other elements.*
- *The ability to reduce the number of signs by rationalising or simplifying signs.*
- *The ability to include landscaping to reduce the visual impact of parts of the sign structure.*

The relationship to the site and building:

- *The scale and form of the sign relative to the scale, proportion and any other significant characteristics of the host site and host building.*
- *The extent to which the sign displays innovation relative to the host site and host building.*
- *The extent to which the sign requires the removal of vegetation or includes new landscaping.*

The impact of any illumination:

- *The impact of glare and illumination on the safety of pedestrians and vehicles.*
- *The impact of illumination on the amenity of nearby residents and the amenity of the area.*
- *The potential to control illumination temporally or in terms of intensity.*

The need for identification and the opportunities for adequate identification on the site or locality.

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- *0.22 spaces to each child.*

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

General Provisions

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*